

cover - PLAN & ELEVATION DRAWINGS

cover - SITE ANALYSIS DRAWINGS



CNR. HUNTER ST & STEWART AVE.



743-745 HUNTER ST - SUBJECT SITE



741 HUNTER ST - LATEC HOUSE



735 HUNTER ST - TERRACE HOUSES



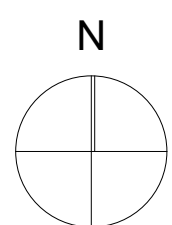
731 HUNTER ST - SUBJECT SITE



STEWART AVE.



CNR. LITTLE KING ST & STEWART AVE.



LITTLE KING ST - FORMER CAR DEALERSHIP (SUBJECT SITE)



LITTLE KING ST. - HERITAGE LISTED 'DRILL HALL'



KING ST - 'DRILL HALL' & LATEC HOUSE



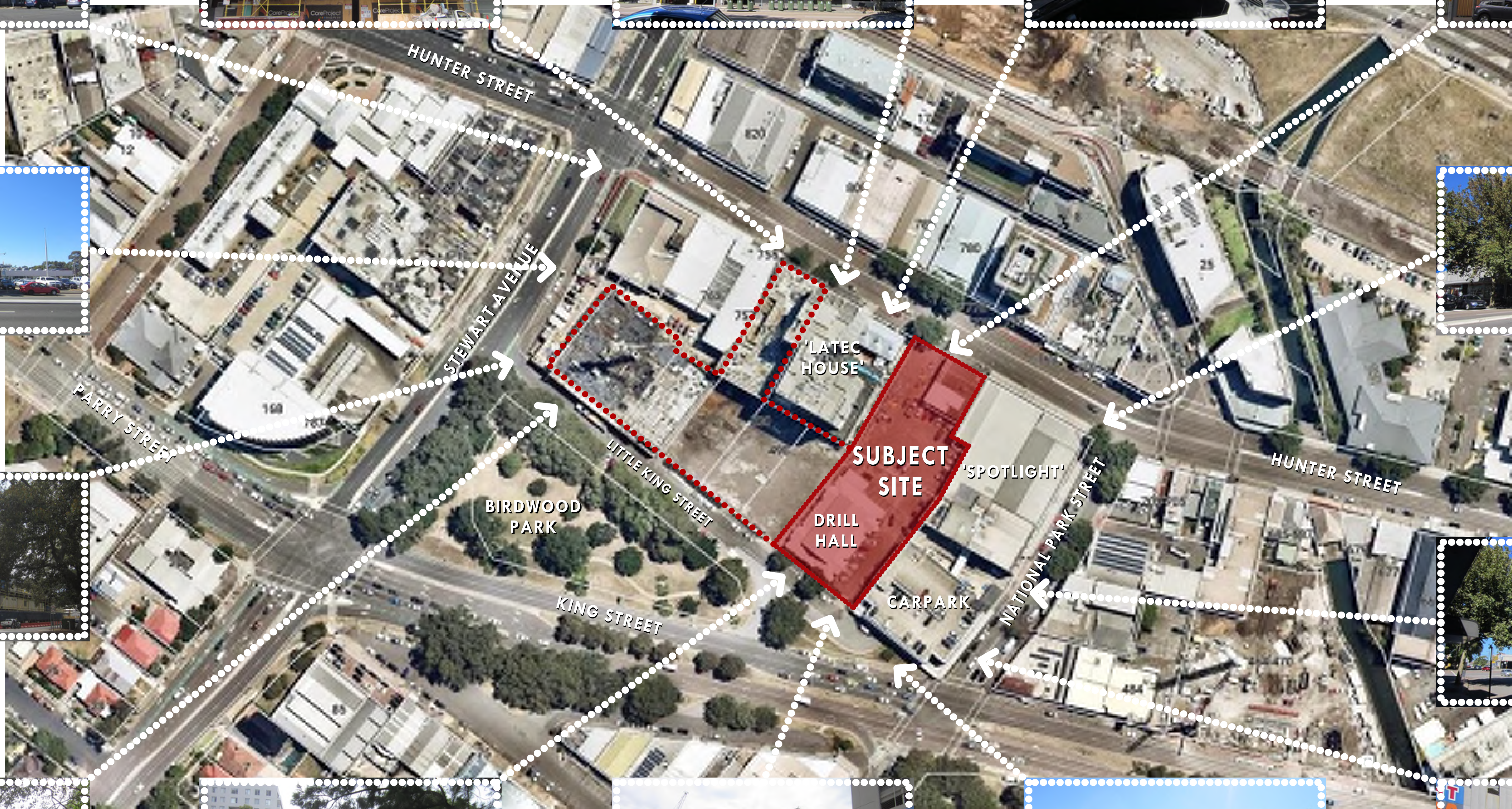
KING ST - SPOTLIGHT



NATIONAL PARK ST - SPOTLIGHT



NATIONAL PARK ST - SPOTLIGHT



DA ISSUE

CNR. HUNTER ST & STEWART AVE.



HUNTER ST.



HUNTER ST.



HUNTER ST.



HUNTER ST. - 'BANK CORNER'



STEWART AVE. - FORMER REGIONAL MUSEUM



CNR. PARRY ST & STEWART AVE. - GATEWAY DEVELOPMENT



CNR. HUNTER & NATIONAL PARK ST.



NATIONAL PARK ST. - NEWCASTLE LEAGUES CLUB



CNR. KING & NATIONAL PARK ST.



STEWART AVE. - CAR LOVERS



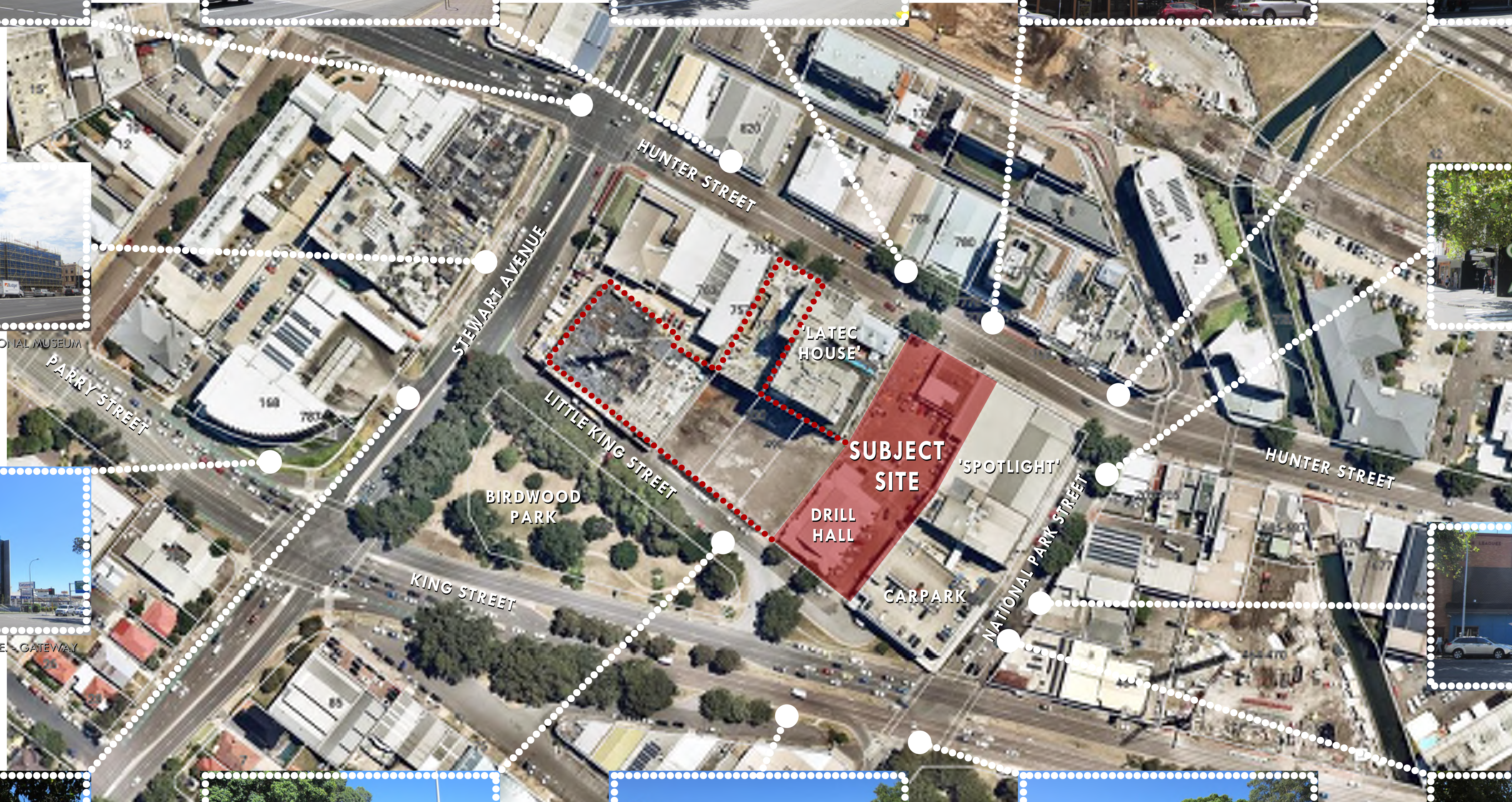
LITTLE KING ST - BIRDWOOD PARK



VIEW ACROSS KING ST.



CNR. KING & NATIONAL PARK ST. - MARKETOWN SHOPPING CENTRE

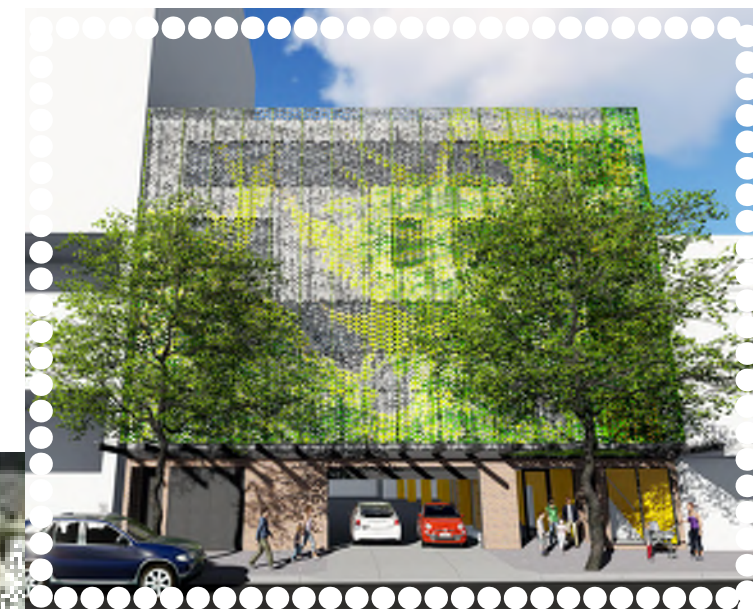


DA ISSUE

'WEST END' APARTMENTS -
UNDER CONSTRUCTION



HUNTER ST CHILDCARE -
UNDER CONSTRUCTION



'BISHOPGATE' APARTMENTS -
UNDER CONSTRUCTION



NEARBY APARTMENT PROPOSAL



PROPOSED 'HUXLEY' APARTMENTS



PROPOSED 'WICKHAM
GREEN' APARTMENTS



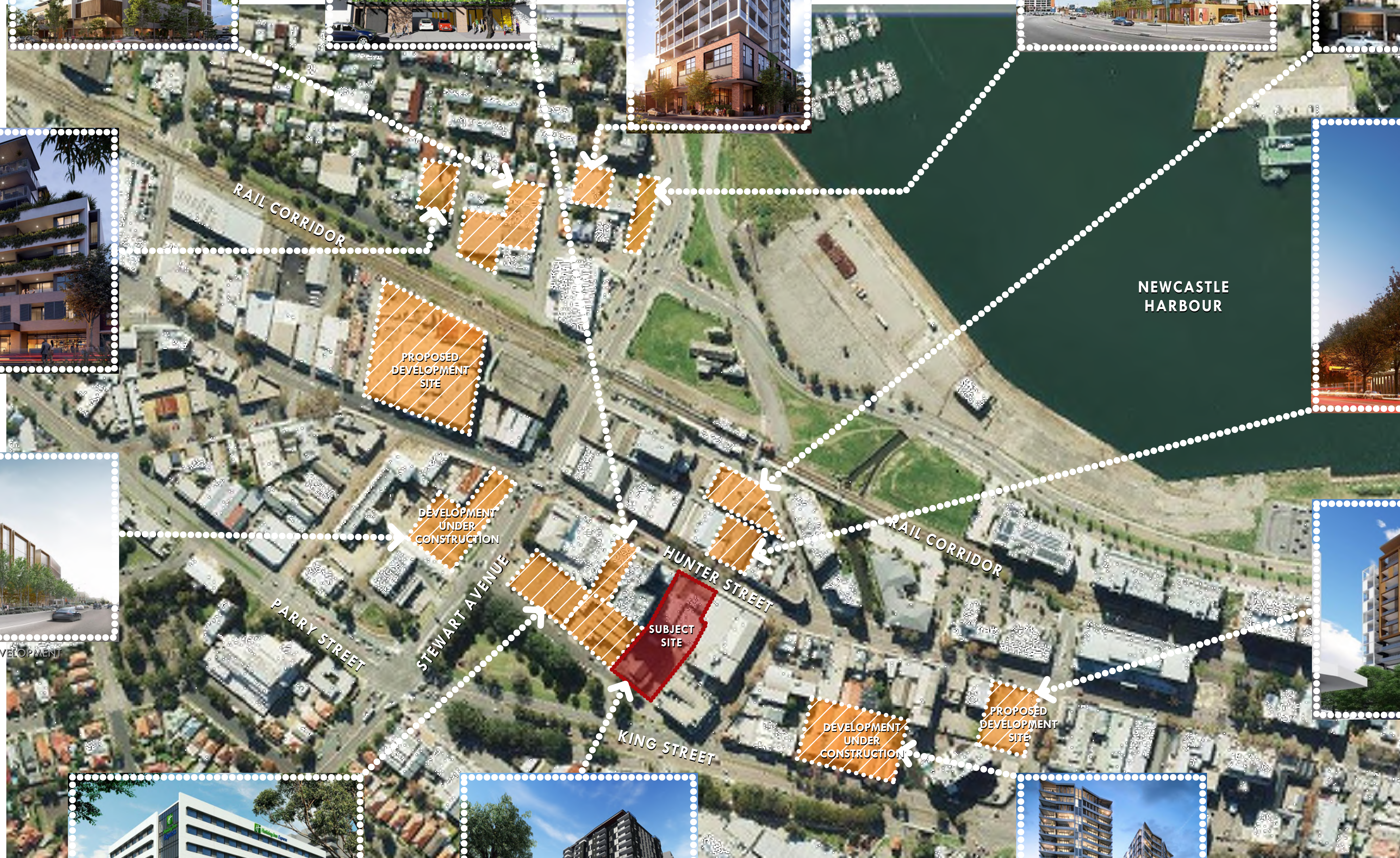
PROPOSED 'AERO'
APARTMENTS -
UNDER CONSTRUCTION



GATEWAY 2 - POLITIS HUNTER DEVELOPMENT
- UNDER
CONSTRUCTION



PROPOSED
'EMPIRE' APARTMENTS



NEWCASTLE
HARBOUR

DEVELOPMENT
UNDER
CONSTRUCTION

HUNTER STREET

KING STREET

RAIL CORRIDOR

PROPOSED
DEVELOPMENT
SITE

DEVELOPMENT
UNDER
CONSTRUCTION



HOLIDAY INN
- UNDER CONSTRUCTION



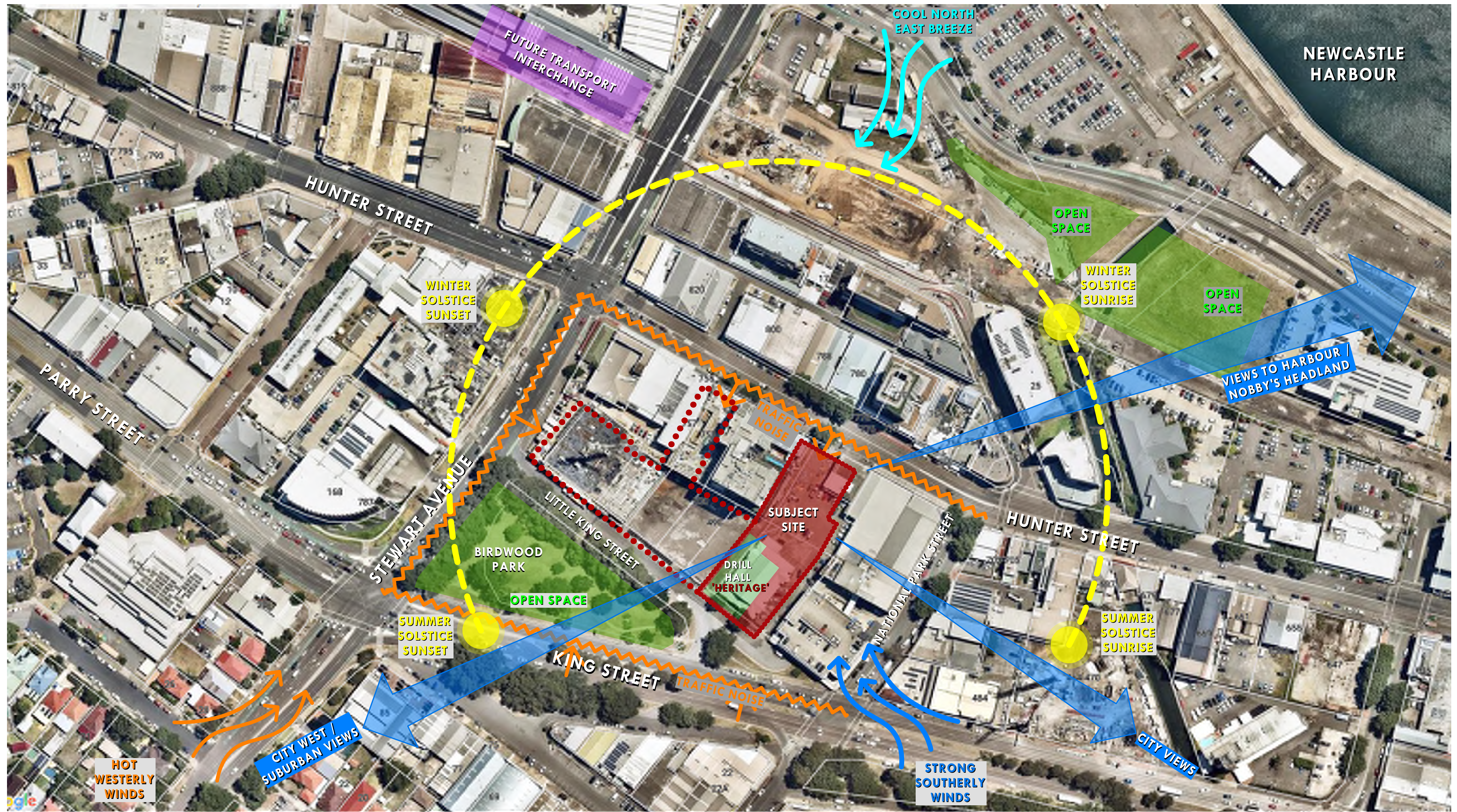
RSL LIFECARE
- UNDER CONSTRUCTION



VERVE RESIDENCES
- UNDER CONSTRUCTION

BIRDWOOD BUSINESS CENTRE

723 HUNTER ST., NEWCASTLE
SURROUNDING FUTURE CONTEXT
not to scale



DA ISSUE



DA ISSUE



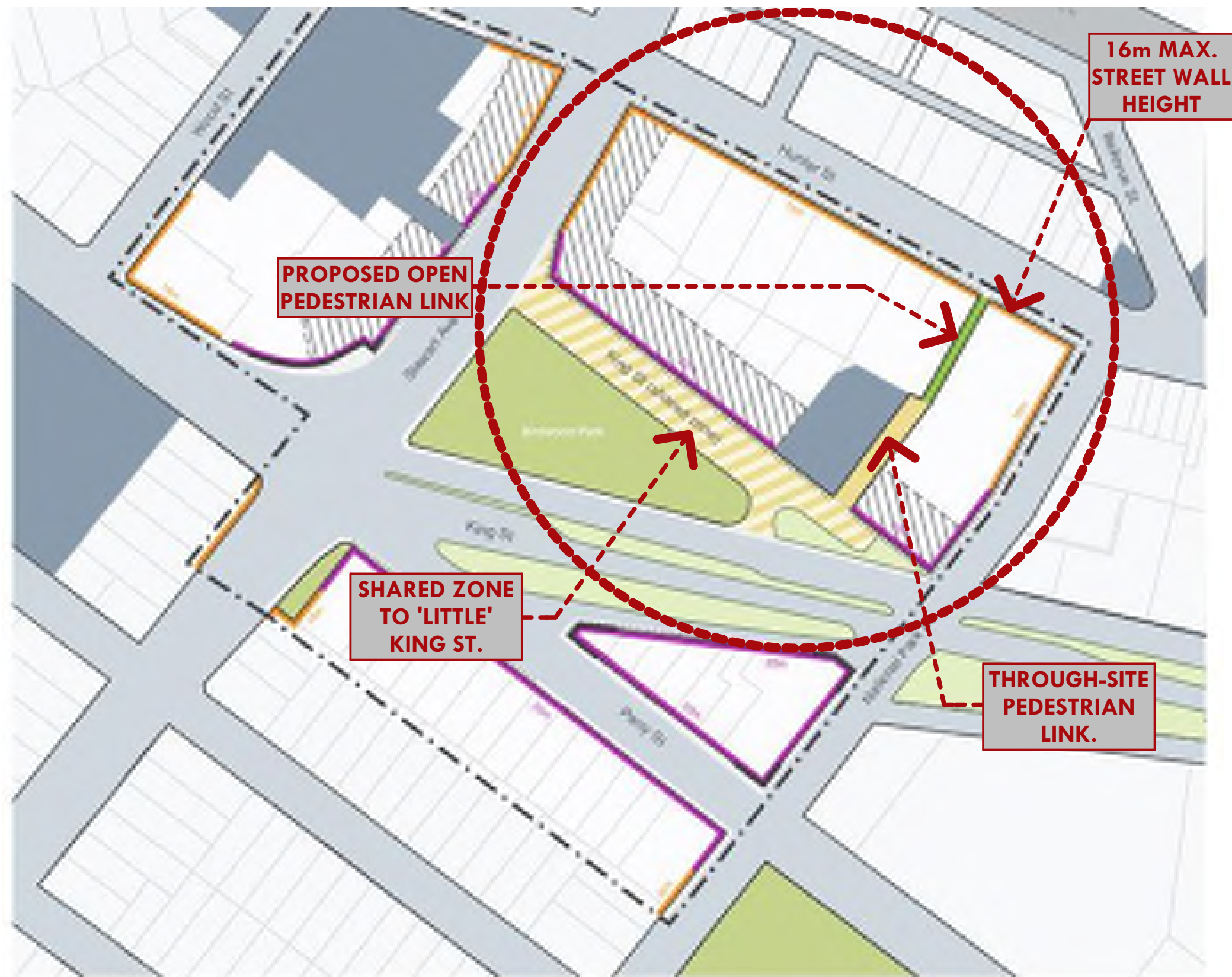


Figure 6.01-35 Birdwood Park precinct plan



DCP PRECINCT GUIDELINES

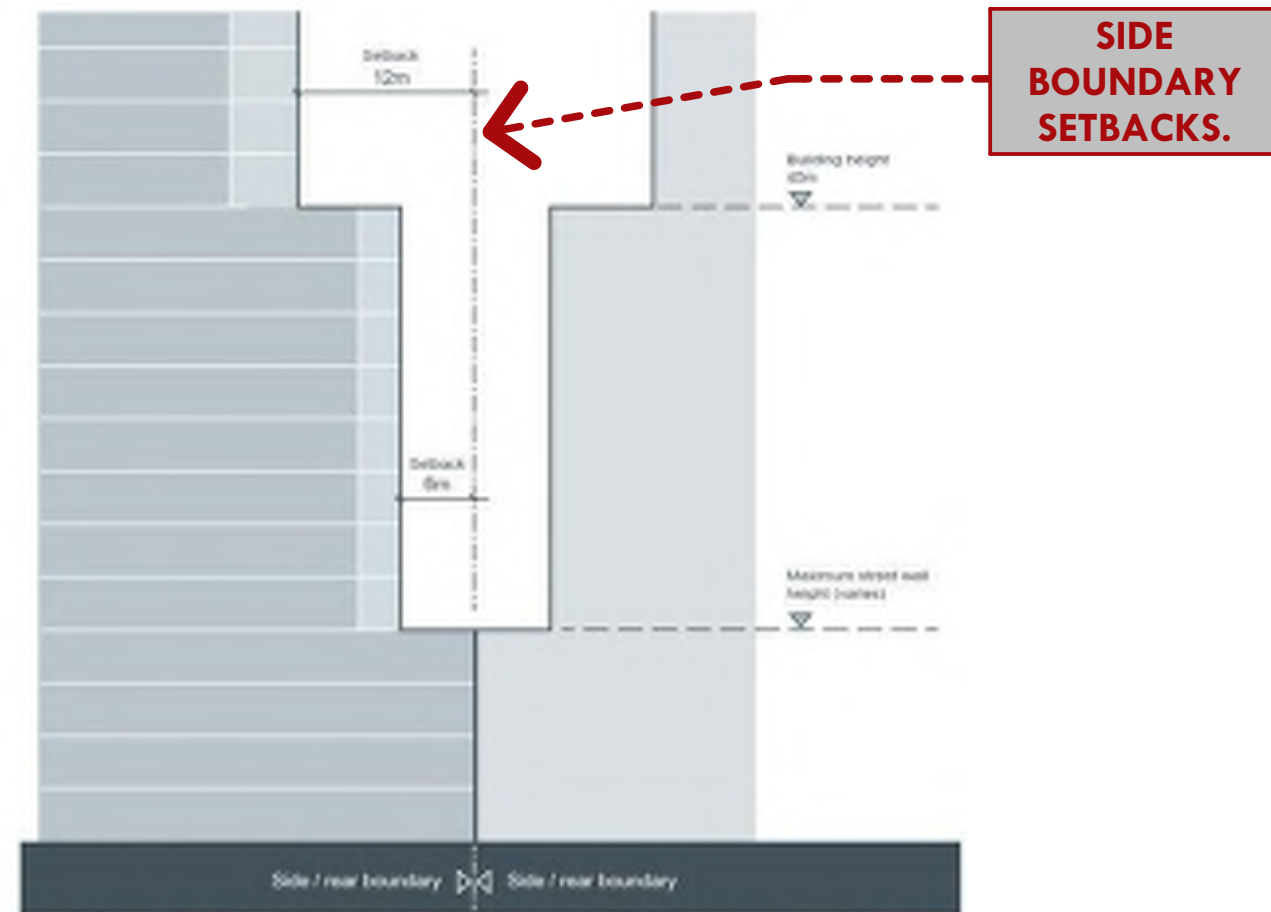


Figure 6.01-14 Section illustrating minimum side and rear setbacks for commercial buildings

DCP SIDE & REAR SETBACKS

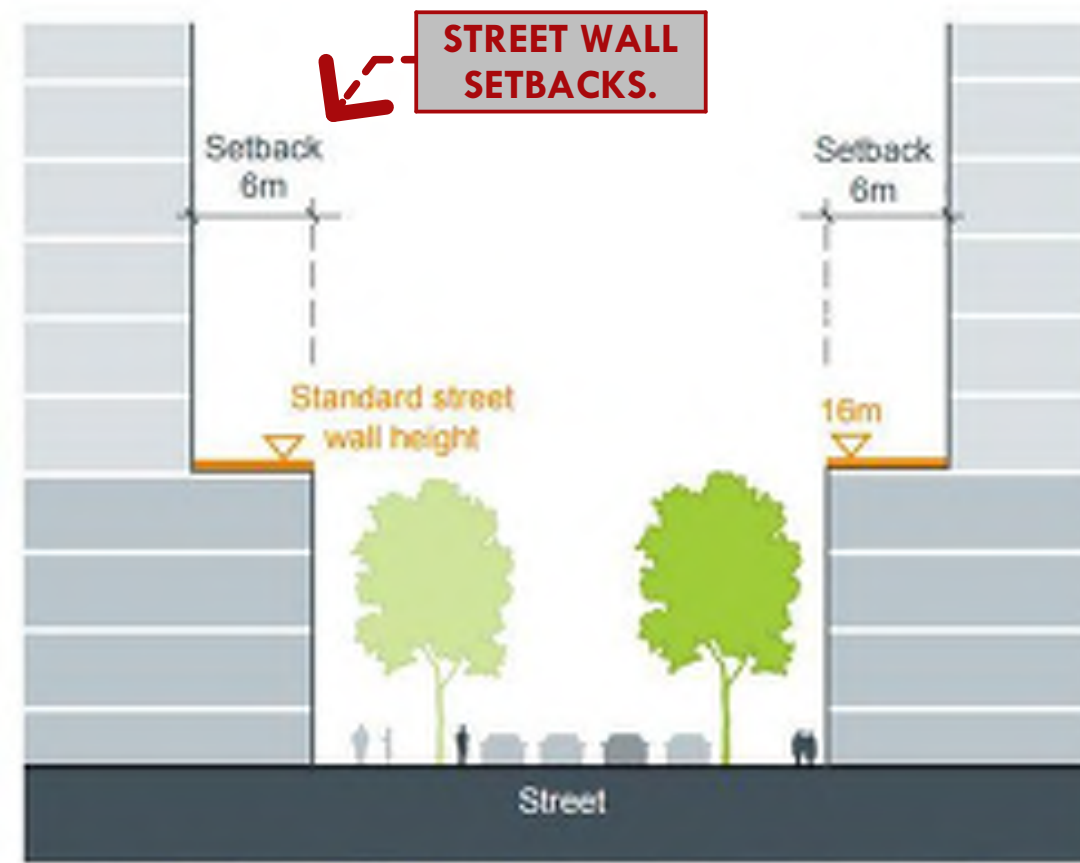


Figure 6.01-12 Section showing the typical 16m street wall height and typical 6m upper level setback

DCP STREET WALL SETBACKS



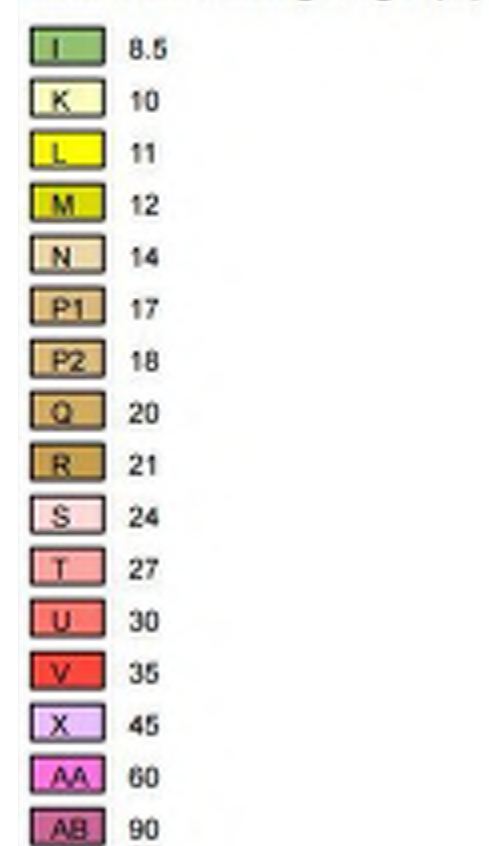
Figure 6.01-13 Building setbacks plan

DCP 'PRIMARY' BUILDING SETBACKS

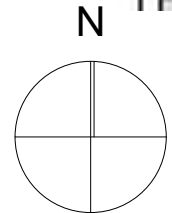
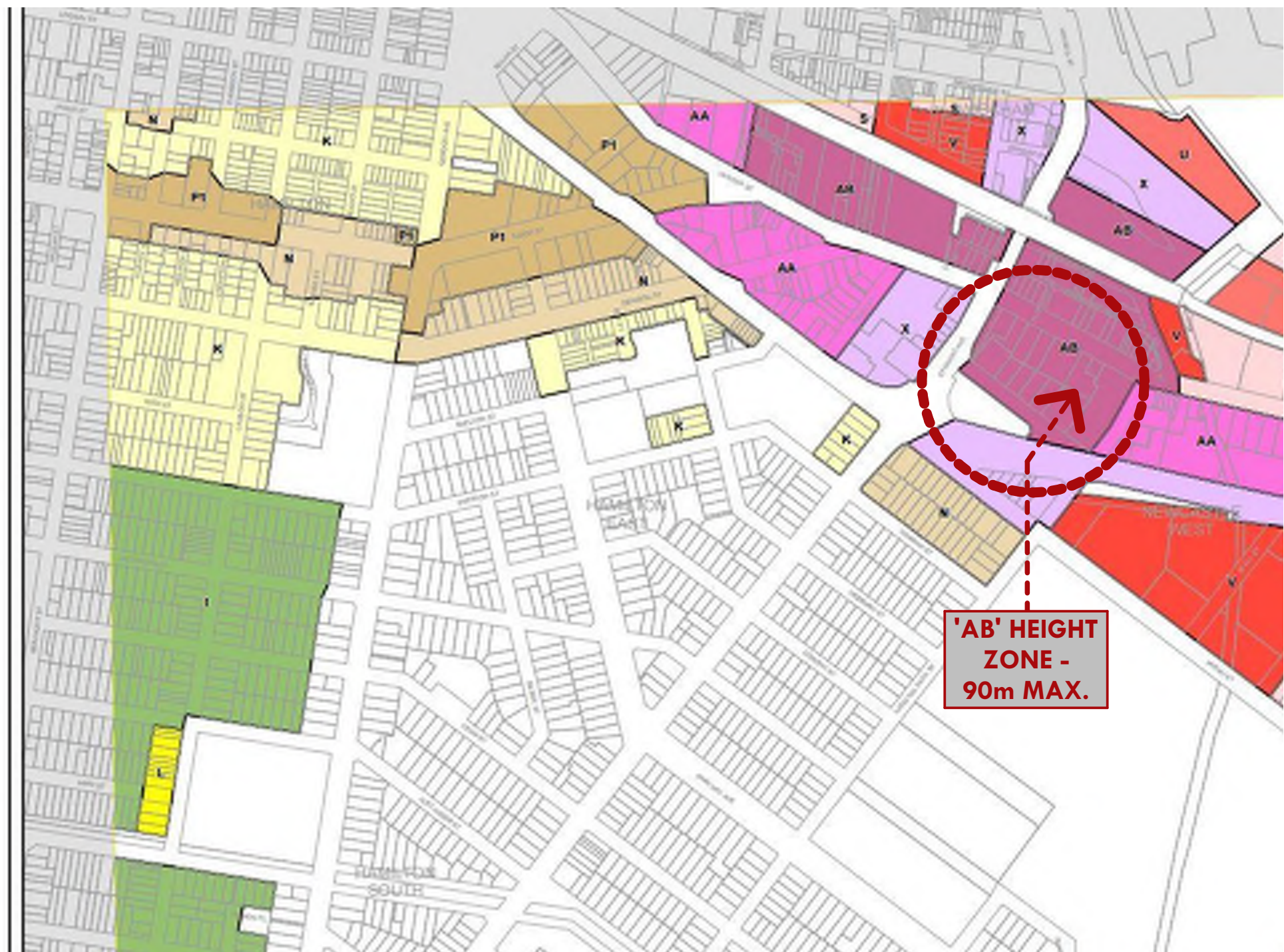


Height of Buildings Map - Sheet HOB_004G

Maximum Building Height (m)

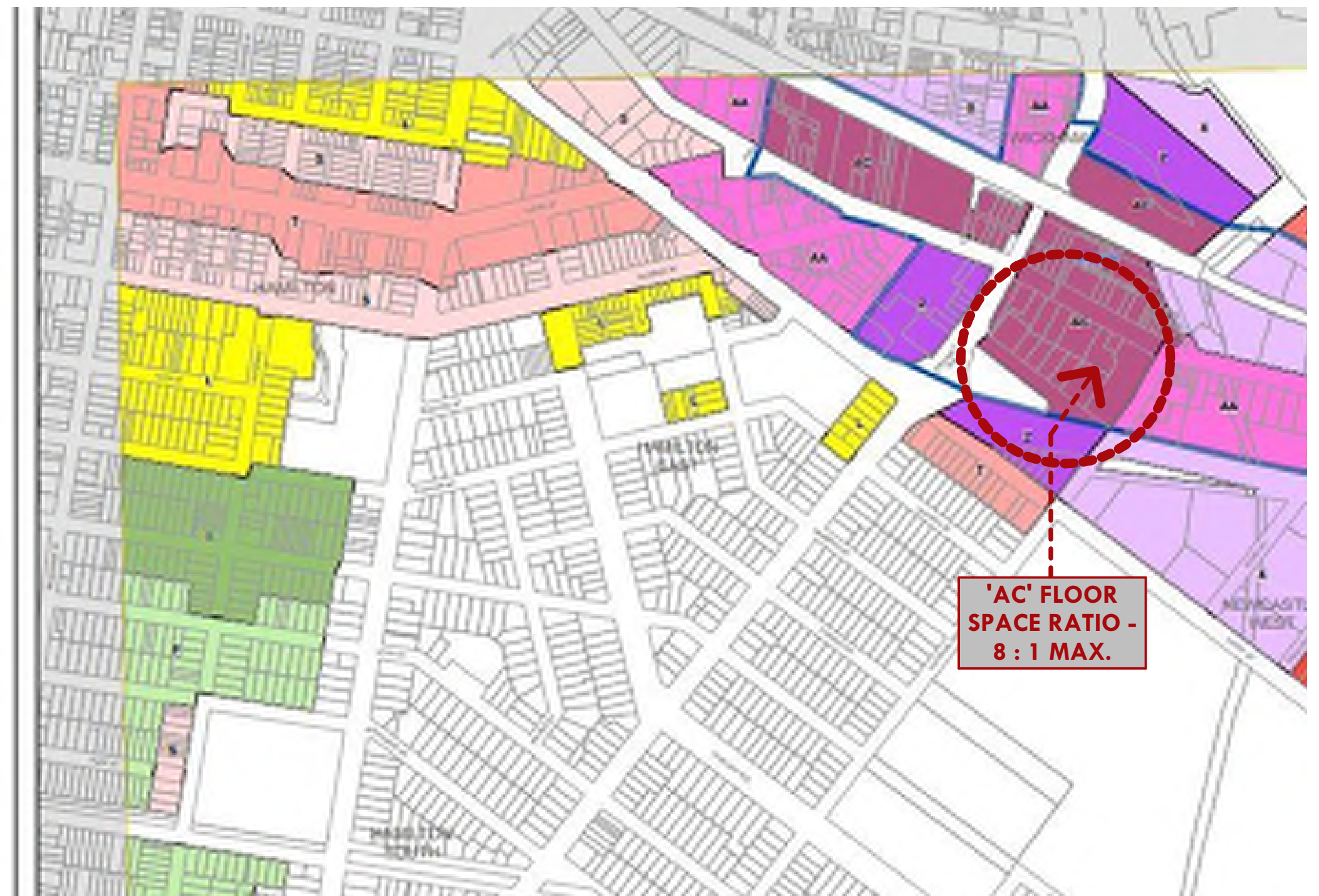
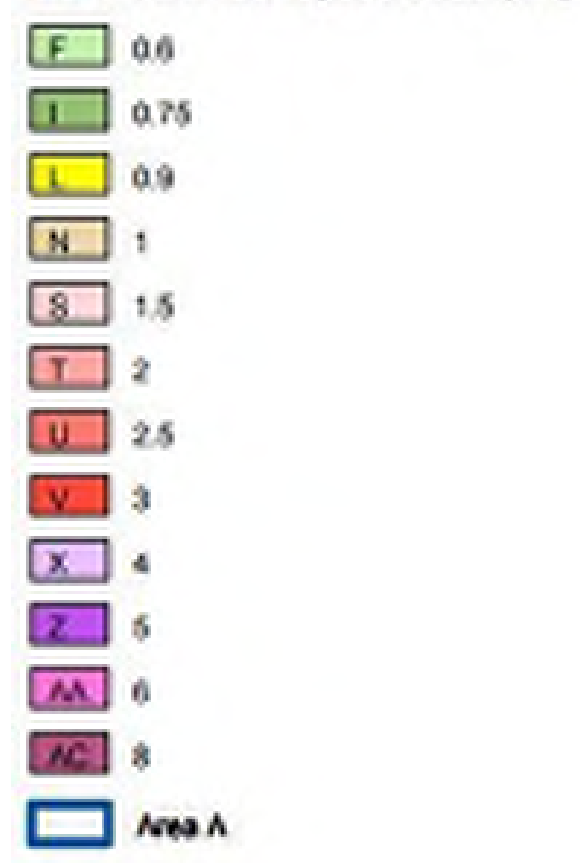


LEP MAX. HEIGHTS



Floor Space Ratio Map - Sheet FSR_004G

Maximum Floor Space Ratio (n:1)



LEP MAX. FLOOR SPACE RATIOS

overall net areas summary:

- total ground level retail = 315m²
- level 5 commercial = 1,020m²
- level 6-12 commercial = (1,298m² x 7) = 9,086m²
- level 13 roof-top activation commercial = 684m²
- total commercial = 10,790m²

overall parking summary:

- ground level = 5 acc. spaces + (9 spaces adjacent drill hall) + (68 bicycles)
- level 1 = 48 spaces + (5 motorbikes)
- level 2-3 = (60 spaces x 2) = 120 spaces
- level 4 = 60 spaces + (5 motorbikes)
- total = 233 car spaces + (9 adjacent drill hall) + (10 motorbikes) + (68 bicycles).



legend

- vertical circulation
- commercial lobbies
- commercial e.o.t. facilities
- lettable retail
- carparks
- back of house / plant

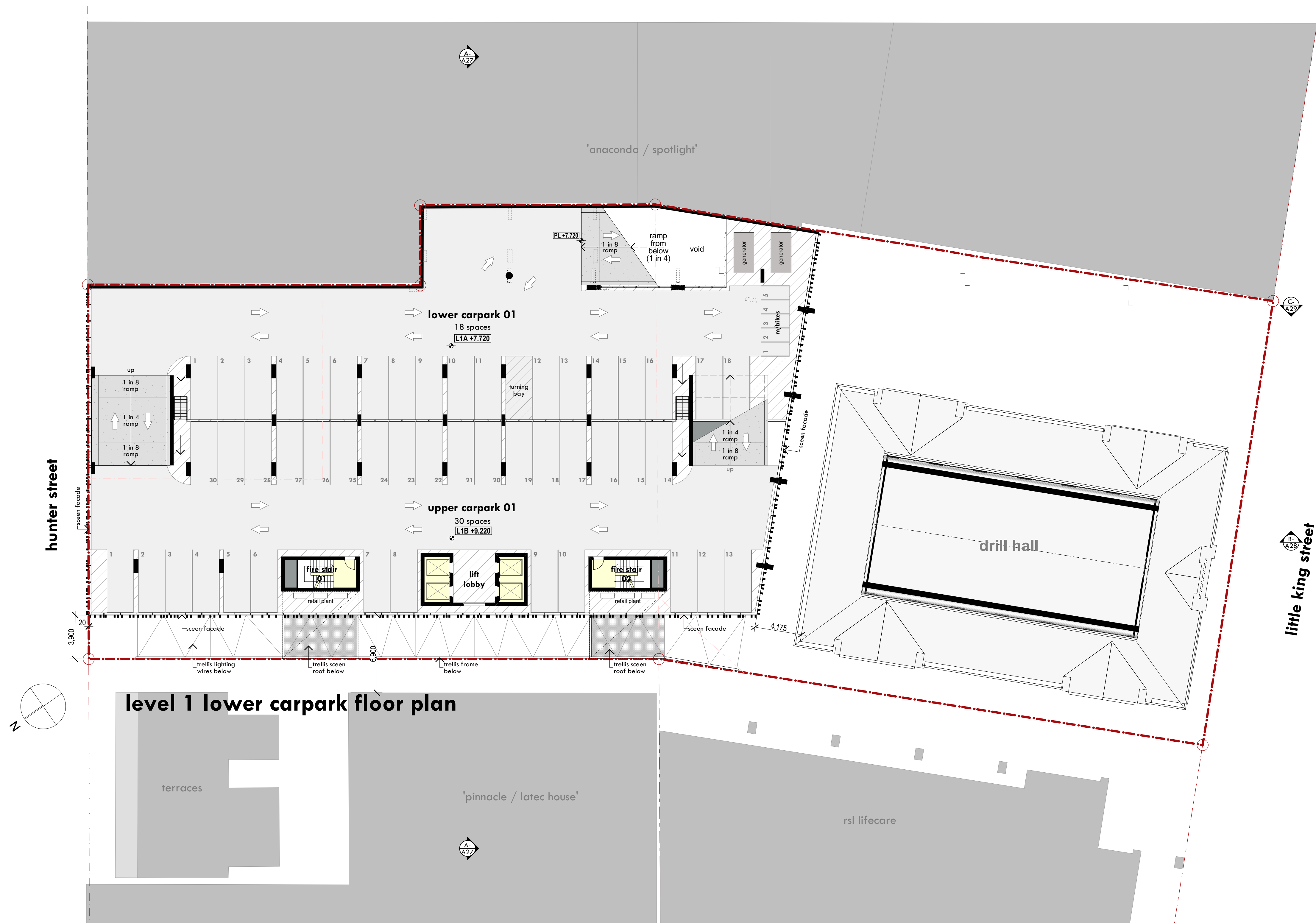
lettable areas:

retail 01 = 195m²
retail 02 = 120m²
total lettable retail = 315m²

total ground level cars = 5
(+ 9 @ drill hall)

ground level GFA = 837m²
(+ drill hall @ 775m²)

DA ISSUE



legend

- vertical circulation
- carparks

total level 1 cars = 48

level 1 GFA = 0m²

DA ISSUE

level 1 lower carpark floor plan



legend

vertical circulation

carparks

level 2 cars = 60
level 3 cars = 60

total level 2-3 cars = 120

levels 2-3 GFA = 0m²

DA ISSUE

level 2-3 typical middle carpark floor plans



legend

vertical circulation

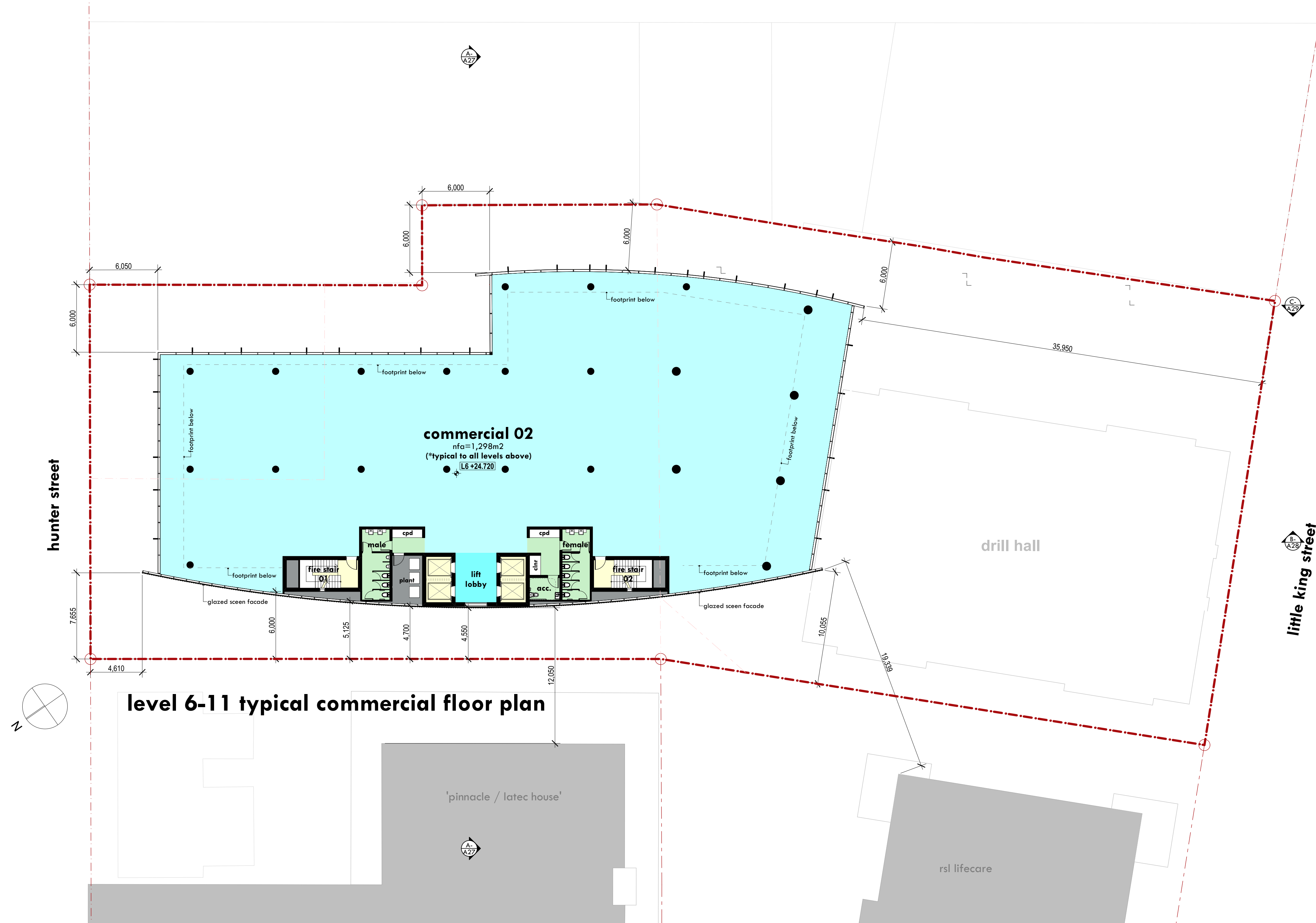
carparks

total level 4 cars = 60

level 4 GFA = 0m²

DA ISSUE

level 4 upper carpark floor plan



legend

- vertical circulation
- lettable commercial
- commercial lobbies
- amenitites
- back of house / plant

lettable areas:

commercial 02 = 1,298m²
x 6 levels = 7,788m²

levels 6-11 GFA = 1,375m² each
(x 6 levels = 8,250m²)



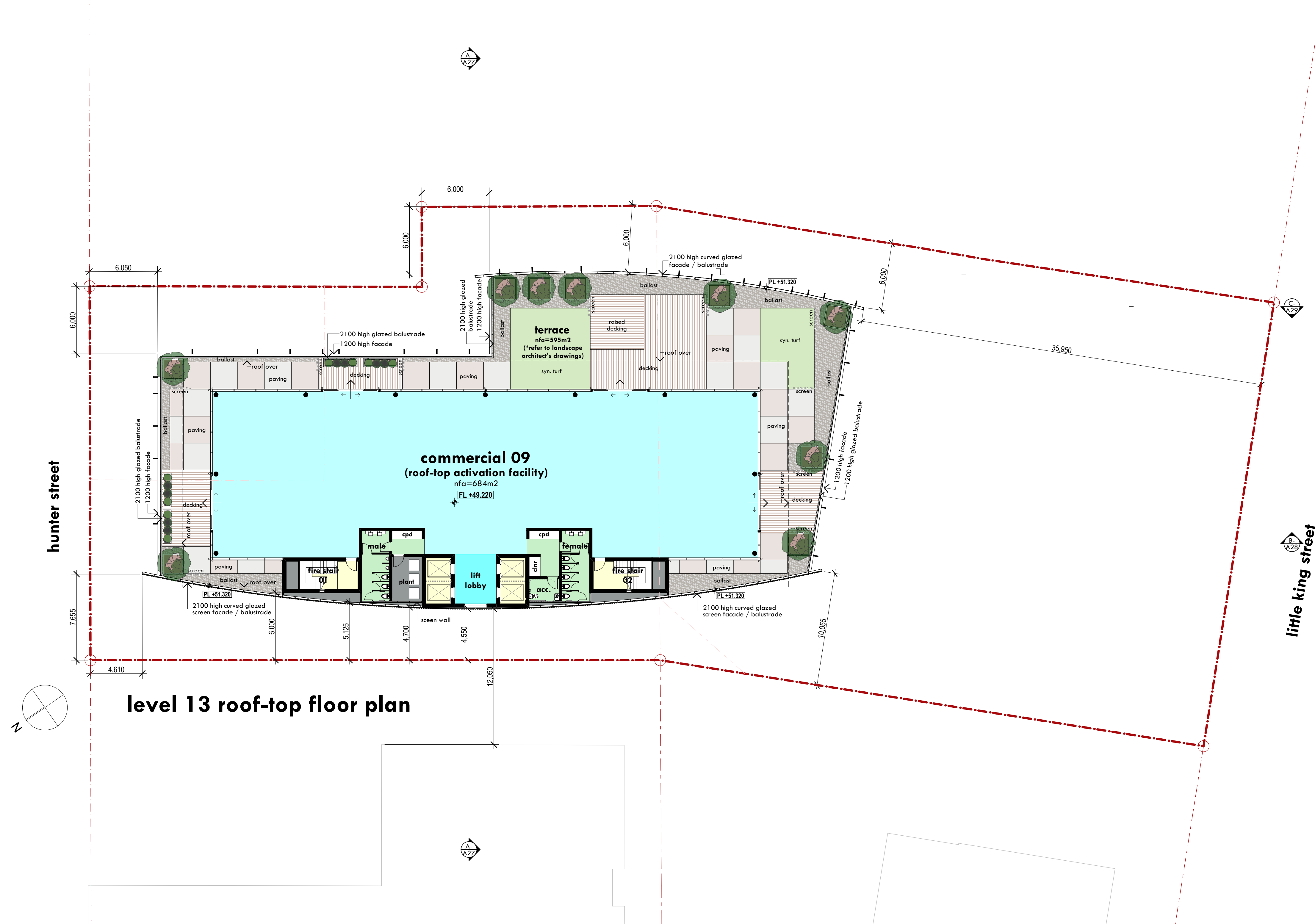
legend

- vertical circulation
- lettable commercial
- commercial lobbies
- amenitites
- back of house / plant

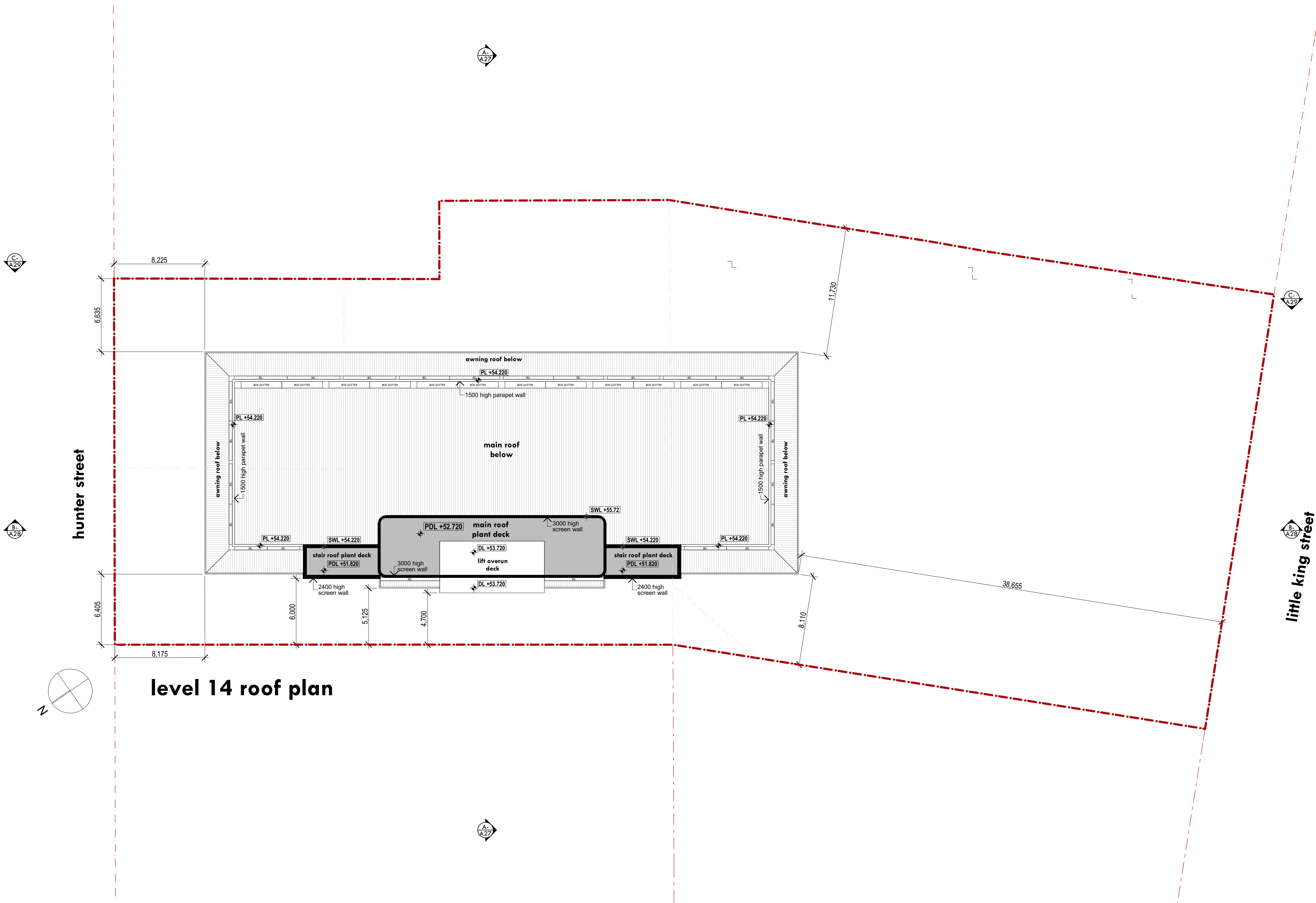
lettable areas:

commercial 08 = 1,298m²

level 12 GFA = 1,350m²



DA ISSUE

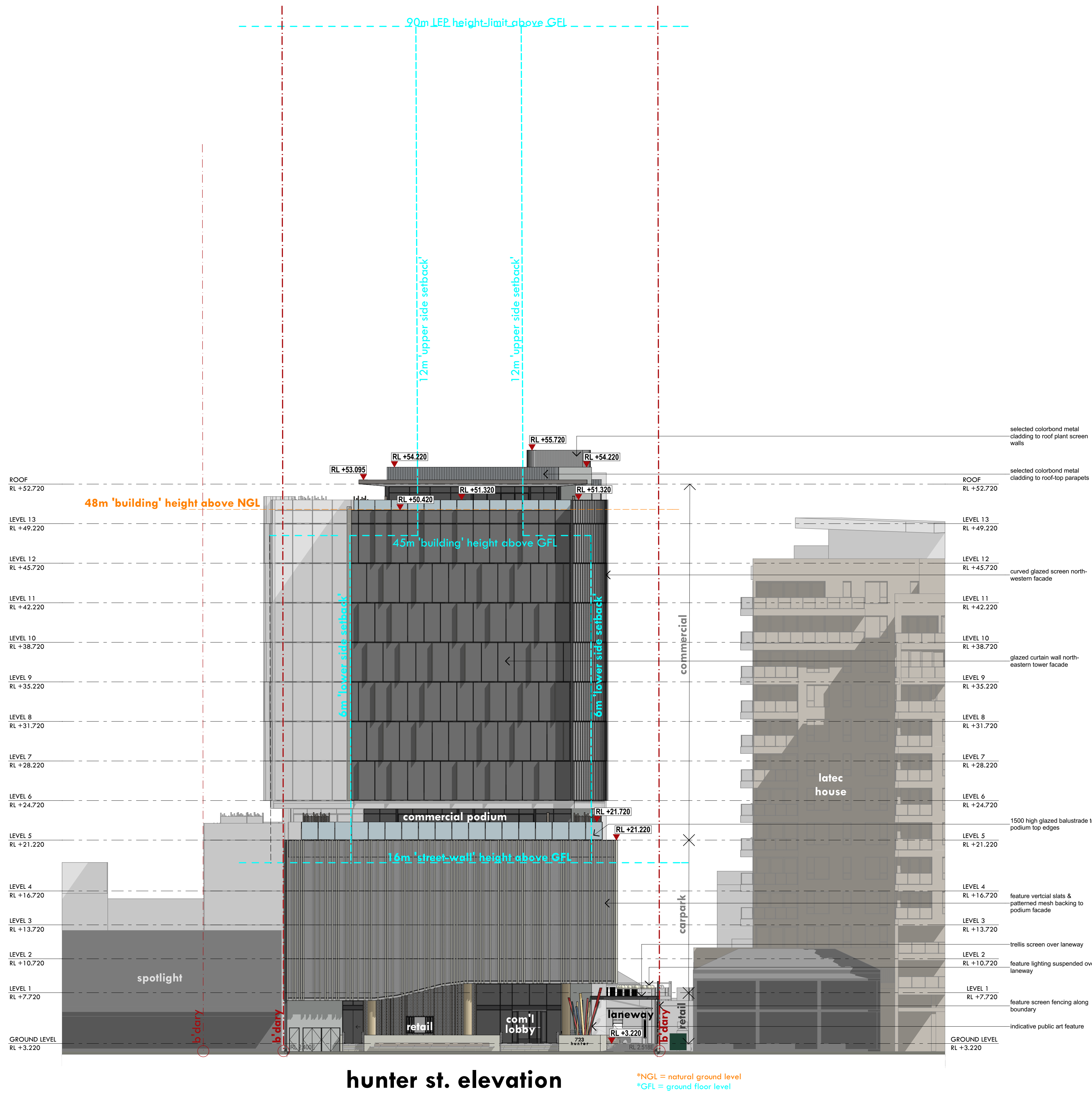


level 14 roof plan

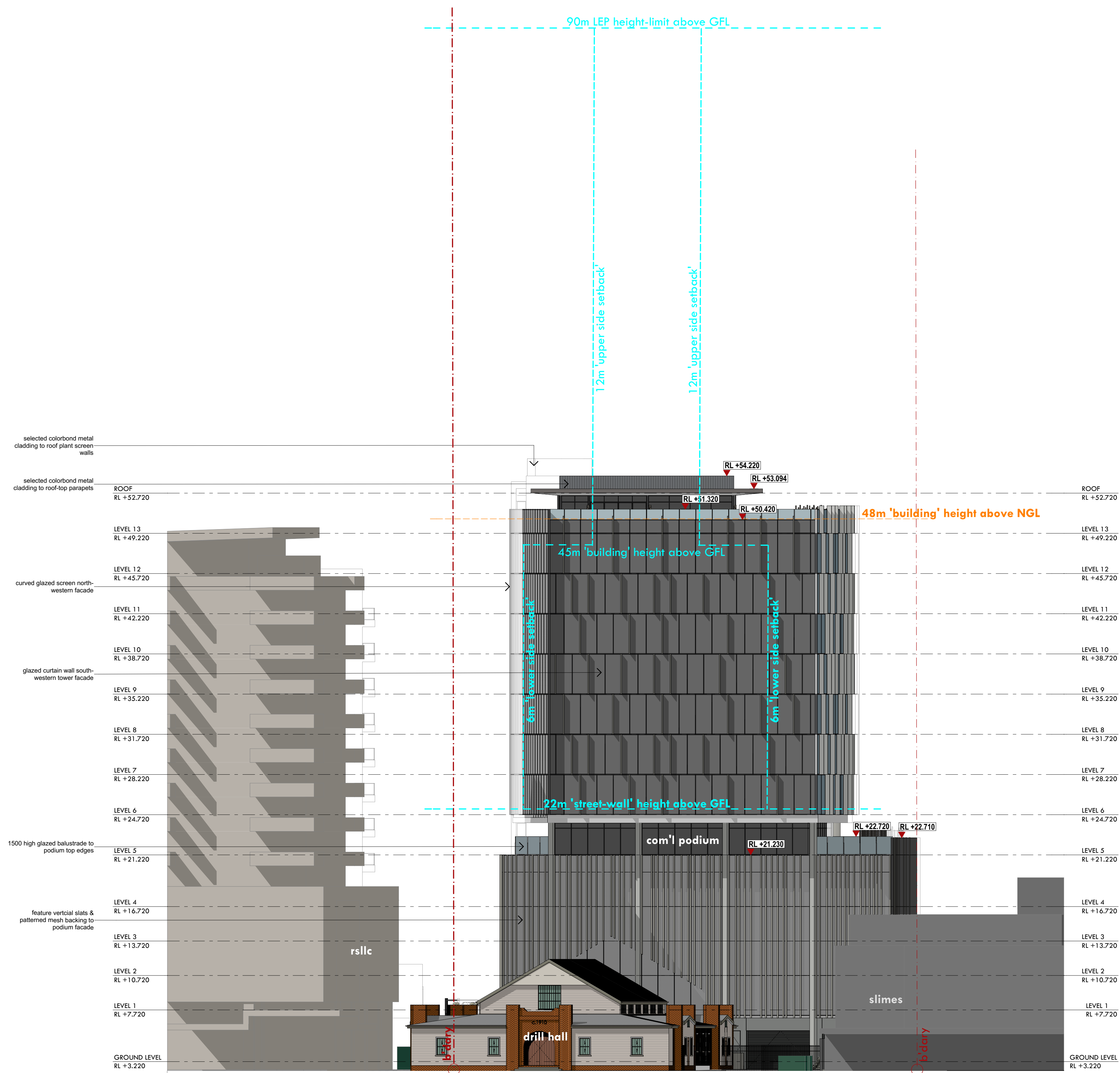
legend



DA ISSUE

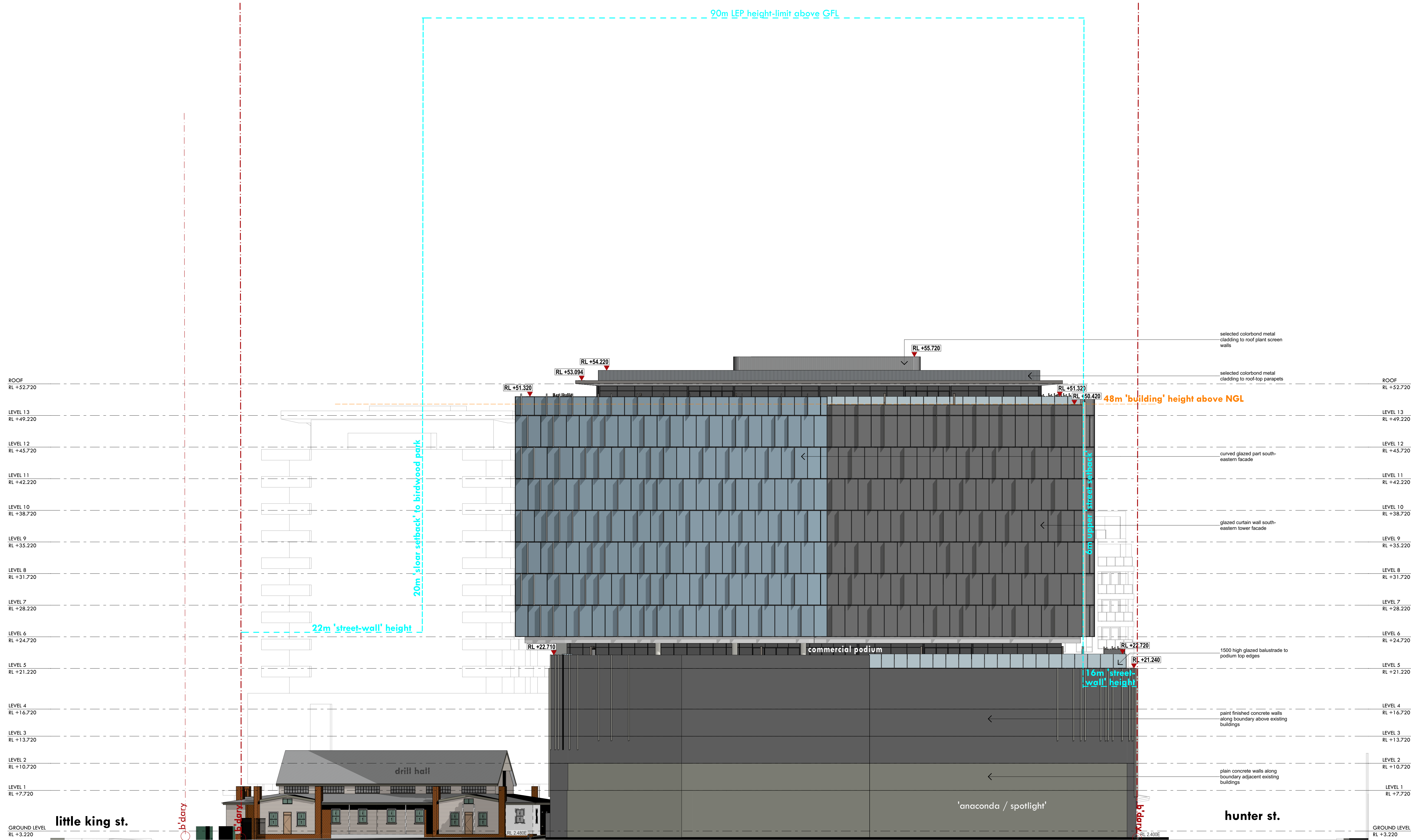






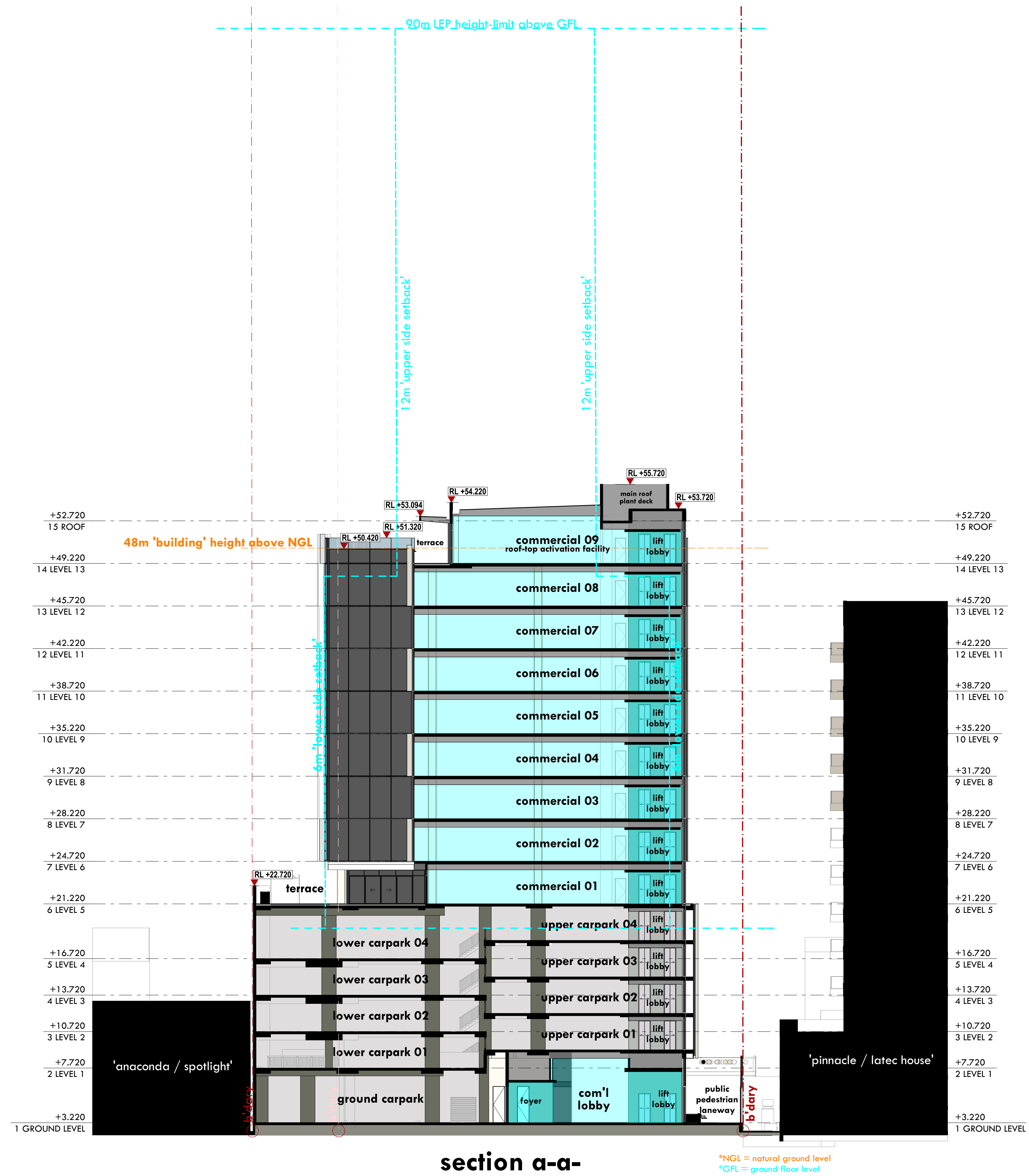
little king st. elevation

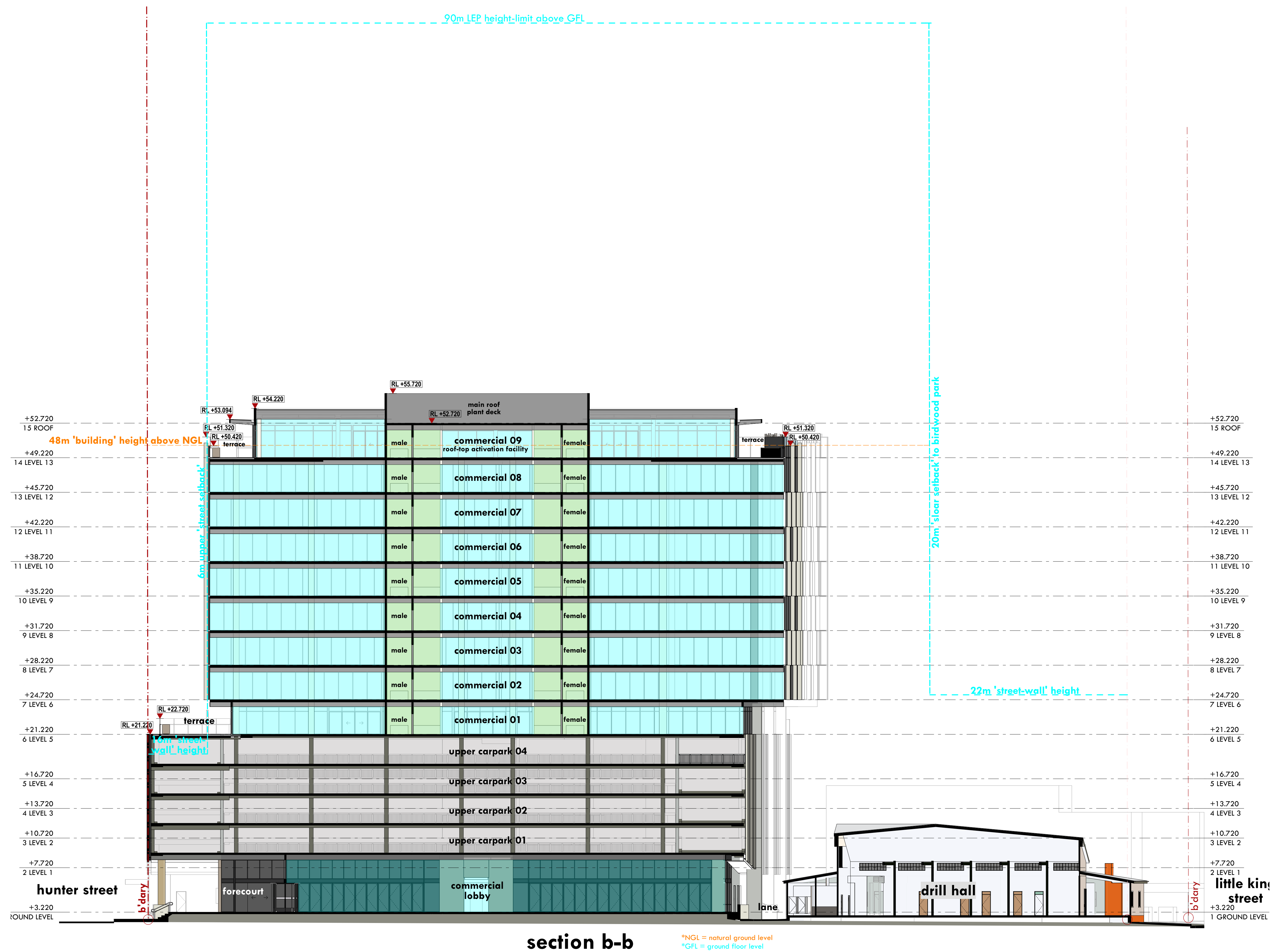
*NGL = natural ground level
*GFL = ground floor level

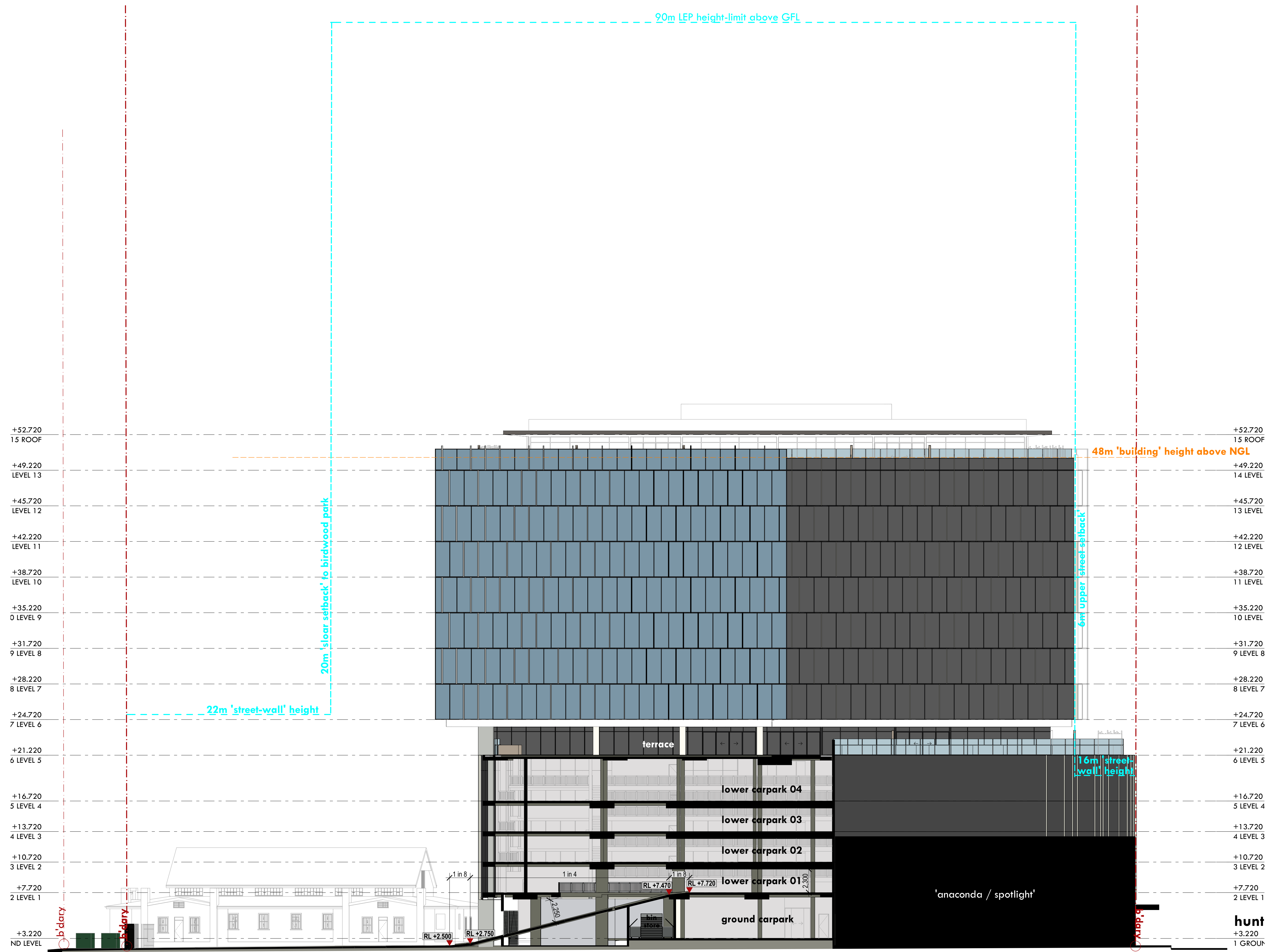


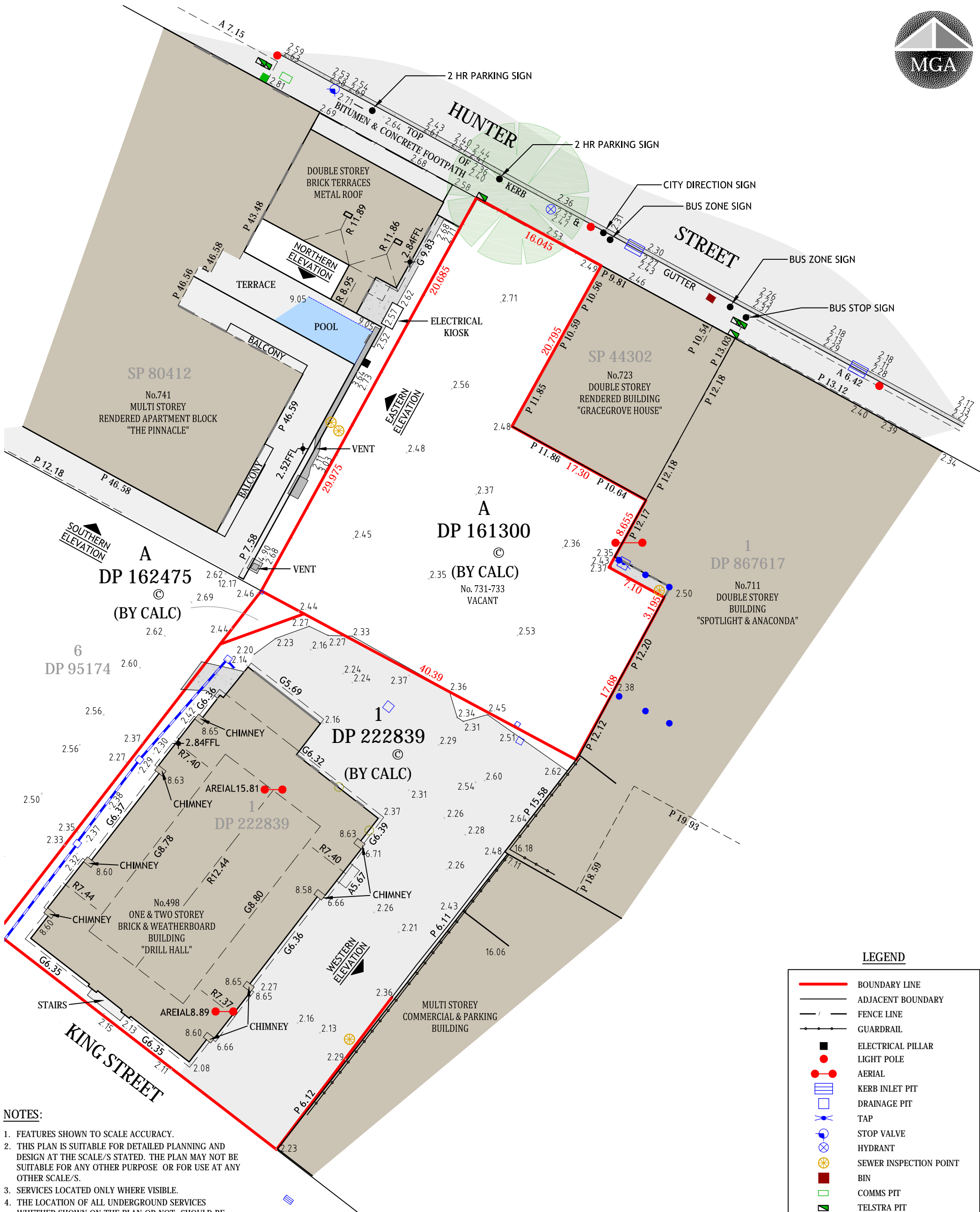
s.e. elevation

*NGL = natural ground level
*GFL = ground floor level









NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. SERVICES LOCATED ONLY WHERE VISIBLE.
4. THE LOCATION OF ALL UNDERGROUND SERVICES WHETHER SHOWN ON THE PLAN OR NOT, SHOULD BE PRECISELY DETERMINED BEFORE ANY CONSTRUCTION WORK COMMENCES AND MEASURES TAKEN TO PROTECT THESE SERVICES FROM DAMAGE.
5. CONTOUR INTERVAL - N/A
6. THE BOUNDARIES SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES SHOWN HAVE BEEN CALCULATED FROM ADJOINING DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
7. WE RECOMMEND A PLAN OF REDEFINITION BE UNDERTAKEN TO CONFIRM THE BOUNDARY DIMENSIONS SHOWN.

LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY
- FENCE LINE
- GUARDRAIL
- ELECTRICAL PILLAR
- LIGHT POLE
- AERIAL
- KERB INLET PIT
- DRAINAGE PIT
- TAP
- STOP VALVE
- HYDRANT
- SEWER INSPECTION POINT
- BIN
- COMMS PIT
- TELSTRA PIT
- TELSTRA POST
- DENOTES SIGNAGE
- DENOTES DOWN PIPE
- DENOTES TREE
- R - RIDGE
- G - GUTTER
- A - AWNING
- P - PARAPET



2	Additional Detail Added	05.04.18
1	Original Issue	11.01.18
No	Amendment	Date

UNIT 7A
26 BALOOK DRIVE,
BERESFIELD NSW 2322
Phone: 02 4964 4886
www.delacs.com.au



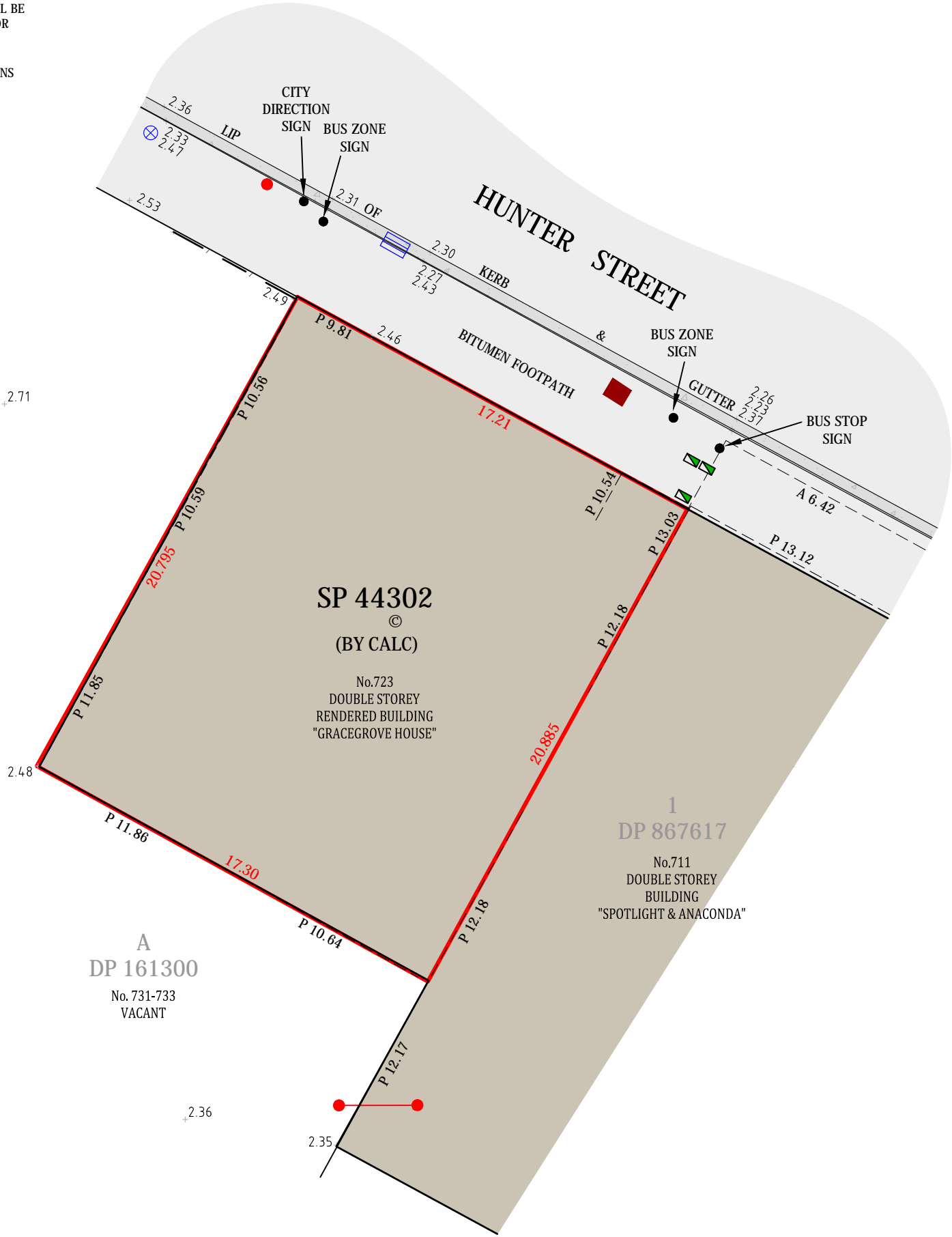
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Address:	No.731-733 HUNTER STREET NEWCASTLE WEST
Client:	CORE PROJECT GROUP

Cad Ref: 17382_DETAIL R2
Datum: AHD
Origin: PM 9880 RL 2.129
Scale: 1:400 A3
Drawn: AS
Surveyor: MT

Project No	17382
Drawing No	1
Revision	2

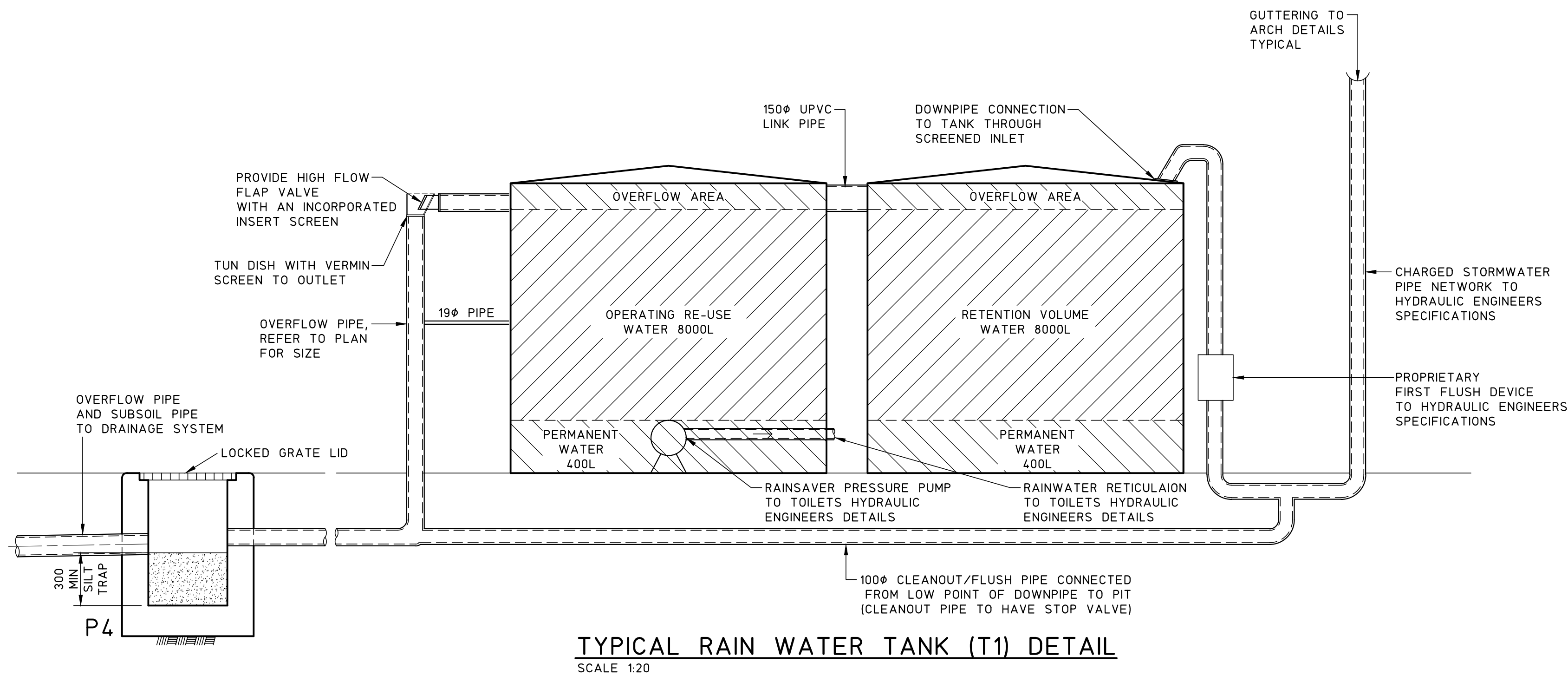
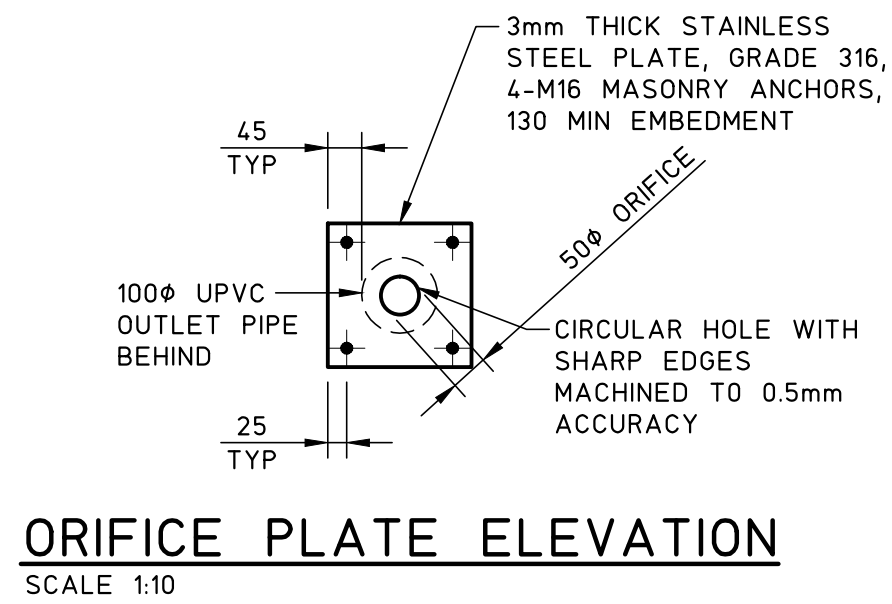
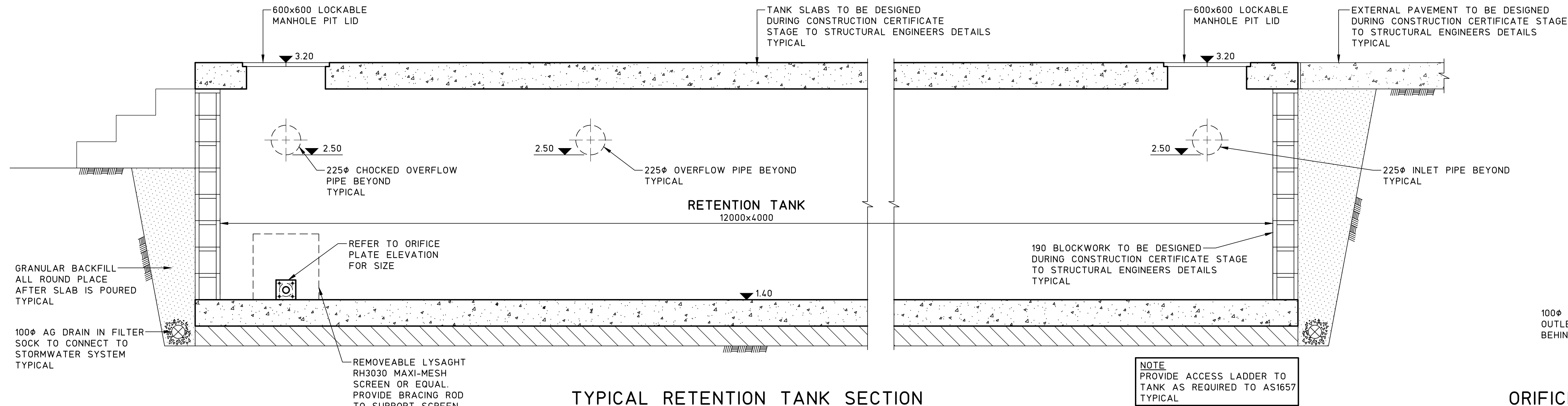
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LEGEND

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	ADJACENT BOUNDARY
	FENCE LINE
	LIGHT POLE
	AERIAL
	KERB INLET PIT
	HYDRANT
	BIN
	TELSTRA PIT
	DENOTES SIGNAGE
A	- AWNING
P	- PARAPET



NOTE
ALL FIRST FLUSH DEVICES SHALL BE INSTALLED TO SATISFY THE BUILDING CODE OF AUSTRALIA AND TO ENSURE A MINIMUM 'HEAD' IS MAINTAINED TYPICAL

NOT FOR CONSTRUCTION

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			THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ENDORSED BELOW			The concepts and information contained in this document are the copyright of MPC Consulting Engineers. Use or copying of the document in whole or in part without the written permission of MPC Consulting Engineers constitutes an infringement of copyright.			CORE PROJECT GROUP PTY. LTD.			BIRDWOOD PARK DEVELOPMENT AT; LOT 1, D.P. 222839 AND LOT A, D.P. 161300 SITE C, No.723 HUNTER STREET, NEWCASTLE EAST			DRAWN C.H.		
0 PRELIMINARY			11.4.18						TITLE			ENGINEER D.P./P.M.			No in SET -		
ISSUE			REASON FOR ISSUE			DATE			DATE OF RELEASE			JOB No 18-018			DRAWING No C02		
			RESPONSIBLE PRINCIPAL SIGNATURE			ISSUE									SHEET A1		
															ISSUE 0		

FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm



DRAWING REGISTER

DRAWING NUMBER	SHEET NAME		REV. No.	REV. DATE
11904.5 DA L000	cover page		B	17/5/18
11904.5 DA L001	site plan		B	17/5/18
11904.5 DA L002	landscape design report		B	17/5/18
11904.5 DA L101	landscape plan - hunter street		B	17/5/18
11904.5 DA L102	landscape plan - king street		B	17/5/18
11904.5 DA L103	landscape plan - level five		B	17/5/18
11904.5 DA L104	landscape plan - level thirteen		B	17/5/18
11904.5 DA L201	material/furniture palette		B	17/5/18
11904.5 DA L301	planting palette - ground floor		B	17/5/18
11904.5 DA L302	planting palette - podium/roof		B	17/5/18

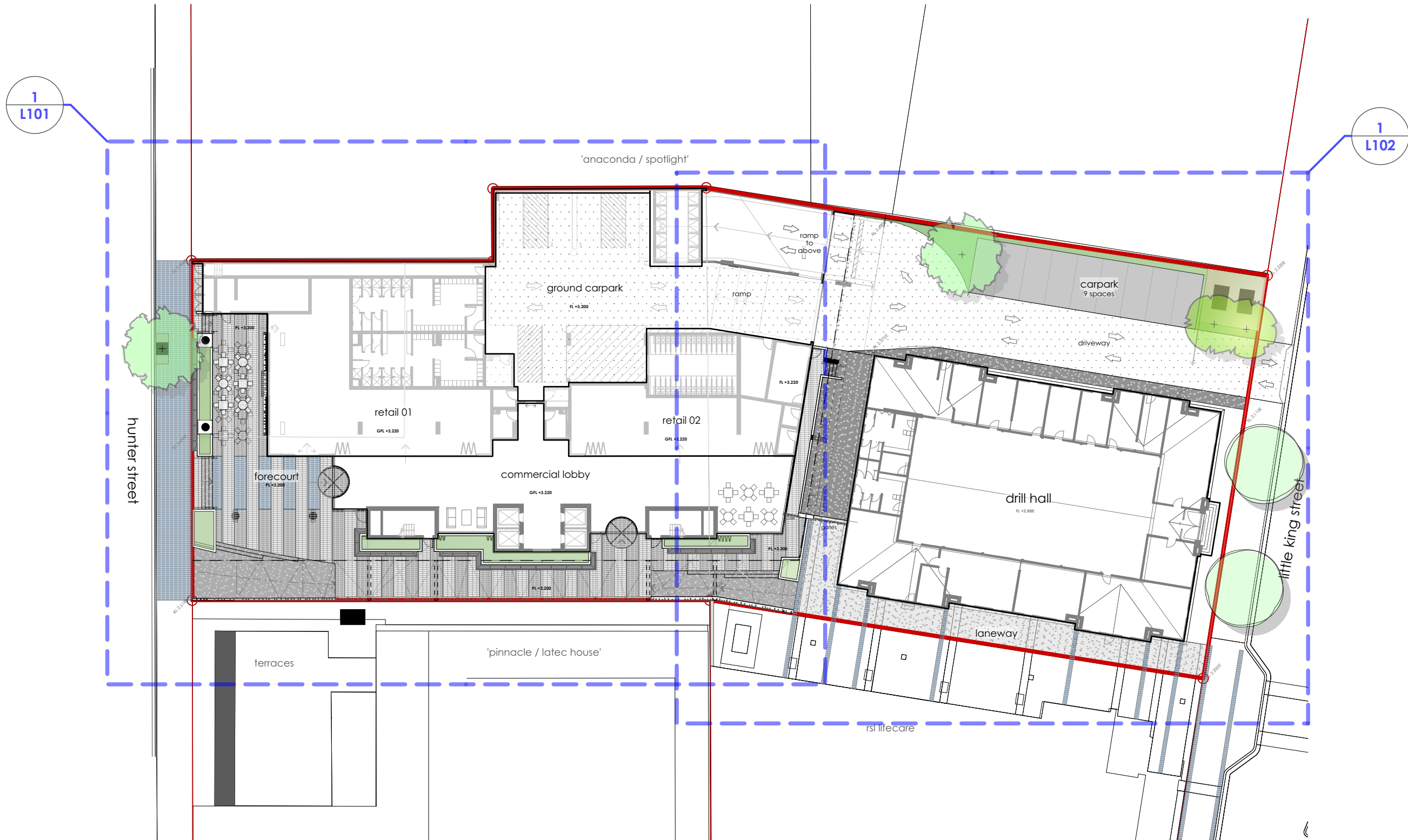
landscape development application

CORE PROJECT GROUP
BIRDWOOD BUSINESS CENTRE
723 HUNTER STREET NEWCASTLE



site plan | L001

BIRDWOOD BUSINESS CENTRE



B 17/5/18 DA ISSUE
A 9/5/18 CLIENT REVIEW

PROJECT:
BIRDWOOD BUSINESS CENTRE

SITE:
**723 HUNTER STREET
NEWCASTLE**

CLIENT:
CORE PROJECT GROUP

11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15

DRAWN: OS / PW DATE: 23-04-2018 SCALE: @A3

JOB NUMBER: 11904.5 DA L001 B PHASE: DWG No: REV:

landscape design report

L002

BIRDWOOD BUSINESS CENTRE

site general description

The following Landscape Design Report has been prepared in accordance with the requirements of Newcastle Local Environment Plan 2012 and Newcastle Development Control Plan 2012.

The site falls within the 'West End Precinct' of Newcastle City Council's City Centre Public Domain Technical Manual 2014.

The subject site is known as 723-733 Hunter Street. It is part of the former 'Newcastle City Holden' site which, due to the large size, was divided into 4 development sites. A childcare centre, 'Holiday Inn Express' and 'RSL LifeCare' are currently under construction. The site subject to this application also includes the existing 'Drill Hall' building which has undergone adaptive reuse. No changes are proposed to the 'Drill Hall' building as part of this DA, however the surrounds will be upgraded as part of this development.

The overall size of the 'Newcastle City Holden site' was 9739m². The subject site of this DA, known as 'Site C' is a total of 3909m², this includes the Drill Hall building and surrounds. The subject site has a 33.2m Hunter Street frontage to the north and 39.9m frontage to Little King Street, to the south. The topography falls gently diagonally to the southern corner, with a total change in level of around 600mm.

The site broadly, has a long history as a car sales yard and currently has one remaining two storey commercial building, to be demolished as part of this development, and the 'Drill Hall' building, which is to be retained.

landscape character and visual amenity

Land use in the immediate area is a mix of commercial, retail and residential apartment buildings. A number of large scale residential and commercial developments are currently underway or recently completed. This will continue the evolution of this western precinct in coming years.

The subject site's street frontage to Little King Street is dominated by Birdwood Park to the south, in particular, the mature Ficus species along the road edge. The existing pavement along the subject site's boundaries is a patchwork of bitumen in average condition with clay paver borders on Hunter Street. The pedestrian traffic in the area is currently dominated by construction workers due to the building activity in the area.

The landscape character and visual amenity, generally in the Birdwood Park precinct, is heavily influenced by both the major arterial roadways of King Street to the south, Stewart Avenue to the west and Hunter Street to the North. Currently, the public open space of Birdwood Park has a sense of isolation with access to the area restricted to a few entry points due to the roadways. The exposed, highly visible nature of Birdwood Park, along with limited amenities, makes it poorly utilised as the principle green space in this west end development area. It is currently primarily used as a thoroughfare.

There is a theme of adaptive reuse in the broader Birdwood precinct, driven by properties on the south side of King Street and the 'Drill Hall' building. The historically dominating scale and poor aesthetic value of the former 'Latec House' and the Spotlight Carpark is effectively being offset by the number new, large developments in the surrounding area.

visual access

The traffic volumes on the adjoining roads results in the site being visible to a very high number of road users, however, only within a limited catchment as the new and existing developments adjacent, and vegetation within Birdwood park largely obscures the site from King Street and Stewart Avenue. The alignment of Hunter Street results in vehicular and pedestrian traffic heading west along Hunter Street, being afforded the greatest visual access of the proposed development. The King & National Park Street intersection and Little Birdwood Park/Marketown pedestrian traffic are public areas on a local scale which will also receive largely unobstructed views of the development.

The private residences within the Pinnacle/Latec building with views to the east, will look directly on to the development. Residents of the RSL LifeCare building, and the Aero apartments, to the North are also in close proximity to the proposed building. The outlook will be considerably altered for residences which are orientated towards the subject site from these buildings in the immediate surrounds.

proposed development

The proposed development consists of a 14 storey commercial office building with ground floor retail and a through site link pedestrian laneway. Following the ground floor retail and parking, are 3 levels of above ground parking, then a commercial office tower of 7 storeys.

Ground floor activation of the through site laneway along the western boundary, results from the retail tenancies and the commercial lobby addressing the space, and artwork and catenary lighting bringing place-making amenity to the development. This vertical batten theme, inspired by the artwork of a member of the Awabakal People, 'bantimila' meaning message stick, is carried throughout the landscape and facade treatments.

Activation is also gained by establishing the laneway to provide pedestrian permeability the Birdwood Park/Marketown area by improving connectivity throughout this rapidly developing precinct.

The ground level floor plan primarily occupies the eastern side of the development allowing a generous forecourt and commercial lobby to extend the feel and useable space in the laneway.

Catenary lighting and site salvaged feature timber screening along the lane, for the length of the proposed building reflect the carpark facade over and provide a bespoke high quality public thoroughfare focused on pedestrian safety and neighbour privacy. The incorporation of a plant trellis with this screen and lighting will provide a green and protected outlook, improving the amenity within the commercial lobby and retail tenancies, while screening the undesirable above ground car parking adjacent.

Further extensive landscaped spaces occur on the Level 5 podium break out terraces, and on the rooftop activation space.

These areas are designed to offer a range of multipurpose spaces for different sized groups with the potential for the space to be used by occupants for both work breaks and formal business events.

Balustrades are to be clear glazing and set back from the facade to improve the buildings presentation to the street, improve privacy of overlooking into adjoining buildings, while not impacting desirable views out from the space by users.

The placement of raised planters around these upper level landscape areas also assists in improving privacy, focusing outward views and improving outlook from within the commercial tenancies. Strategically placed panels of vertical timber screening throughout these upper levels, further continues the continuity of the facade and laneway screening detail while offering private protected spaces and also managing wind tunnel effects.

The Hunter Street Public Domain is proposed as full width bluestone, in line with the Technical Manual specification. The pavement treatment transitions into bluestone banding with grit blasted concrete infill in the area of the 'Drill Hall' building, to match the specification for Little King Street public domain and the RSL LifeCare portion of the laneway.



PINNACLE APARTMENTS ABOVE GROUND PARKING ADJACENT TO WESTERN BOUNDARY



WESTERN PORTION OF THE HUNTER STREET FRONTAGE



HUNTER STREET FOOTPATH LOOKING WEST



SITE WESTERN BOUNDARY ON HUNTER STREET. ACCESS LANE AT PINNACLE TOWNHOUSES



DRILL HALL BUILDING & SOUTHERN SITE BOUNDARY FRONTING LITTLE KING STREET

B 17/5/18 DA ISSUE
A 10/5/18 CLIENT REVIEW

PROJECT:
BIRDWOOD BUSINESS CENTRE

SITE:
**723 HUNTER STREET
NEWCASTLE**

CLIENT:
CORE PROJECT GROUP

11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15

DRAWN: OS / PW DATE: 23-04-2018 SCALE: @A3

JOB NUMBER: 11904.5 DA L002 B PHASE: DWG No: REV:

terras
landscape architects

412 KING STREET NEWCASTLE NSW AUSTRALIA 2300
TERRAS.COM.AU PH: 49 294 926 FAX: 49 263 069

BIRDWOOD BUSINESS CENTRE

LEGEND

17/5/18 DA ISSUE
9/5/18 CLIENT REVIEW

11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15



terrass
landscape architects

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BIRDWOOD BUSINESS CENTRE

G E N D

- 412 KING STREET NEWCASTLE NSW AUSTRALIA 2300
TERRAS.COM.AU PH: 49 294 926 FAX: 49 263 069



landscape plan - level five

BIRDWOOD BUSINESS CENTRE

L103



LEGEND

	BLUESTONE PAVES TO NCC PUBLIC DOMAIN SPECIFICATION
	SELECTED FORECOURT/LANEWAY PAVING
	SELECTED FORECOURT/LANEWAY FEATURE PAVING
	OXIDE COLOURED CONCRETE, GRIT BLAST FINISH
	OXIDE COLOURED CONCRETE BROOM FINISH
	GREY CONCRETE, GRIT BLAST FINISH
	CONCRETE DRIVEWAY
	PODIUM LEVEL DECKING SURFACE
	PODIUM LEVEL PAVING
	ARTIFICIAL LAWN AREA
	LARGE SCALE GRAVEL MULCH
	GRAVEL MULCH
	FEATURE TIMBER SCREENING
	BENCH SEATING ON RAISED PLANTER
	MASS PLANTING REFER PLANTING PALETTE
	BENCH SEATING

B 17/5/18 DA ISSUE
A 9/5/18 CLIENT REVIEW

PROJECT:
BIRDWOOD BUSINESS CENTRE

SITE:
**723 HUNTER STREET
NEWCASTLE**

CLIENT:
CORE PROJECT GROUP

11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15

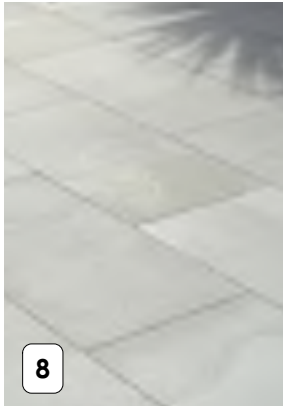
DRAWN: OS / PW DATE: 23-04-2018 SCALE: @A3

JOB NUMBER: 11904.5 DA L103 B PHASE: DWG No: REV:

material/furniture palette

L201

BIRDWOOD BUSINESS CENTRE



items

1. catenary lighting to laneway
2. climbers on trellis example
3. indicative pavement banding
4. indoor/outdoor commercial furniture range
5. integrated smart technology
6. flexible furniture in breakout spaces
7. indicative street furniture range example
8. bluestone external paving
9. integrated planterbox bench seating example

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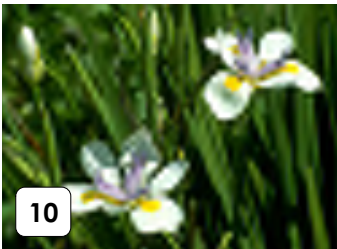
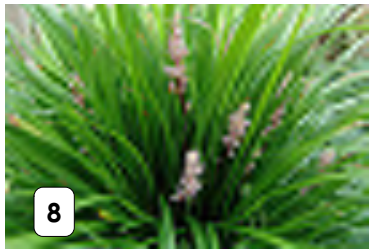
DRAWN: OS / PW DATE: 23-04-2018 SCALE: @A3

JOB NUMBER: 11904.5 DA L201 B PHASE: DWG No: REV:

planting palette - ground floor

L301

BIRDWOOD BUSINESS CENTRE



plant list

- | | |
|-------------------------------|-----------------------|
| 1. Pandorea 'Lady Di' | Pandorea |
| 2. Zamia furfuracea | Cardboard Palm |
| 3. Molineria capitulata | Palm grass |
| 4. Dietes bicolor | Fortnight lily |
| 5. Alpinia caerulea | Native Ginger |
| 6. Cissus antarctica | Kangaroo Vine |
| 7. Trachelospermum asiaticum | Japanese Star Jasmine |
| 8. Liriope muscari 'Isabella' | Isabella |
| 9. Alpinia zerumbet | Shell Ginger |
| 10. Dietes vageta | African Iris |

- | |
|---|
| 11. Hibbertia scandens |
| 12. Dicksonia antarctica |
| 13. Alternanthera dentata 'Little Ruby' |
| 14. Asplenium australasicum |
| 15. Viola hederacea |
| 16. Rhaps excels |
| 17. Alocasia brisbanensis |
| 18. Ixora chinensis 'Dwarf Syn Maui' |
| 19. Betula nigra 'Dura Heat' |

- | |
|-----------------------------|
| Snake Vine |
| Soft Tree fern |
| Alternanthera 'Little Ruby' |
| Birds Nest Fern |
| Native Violet |
| Lady Palm |
| Cunjevoi |
| Ixora |
| Tropical Birch |

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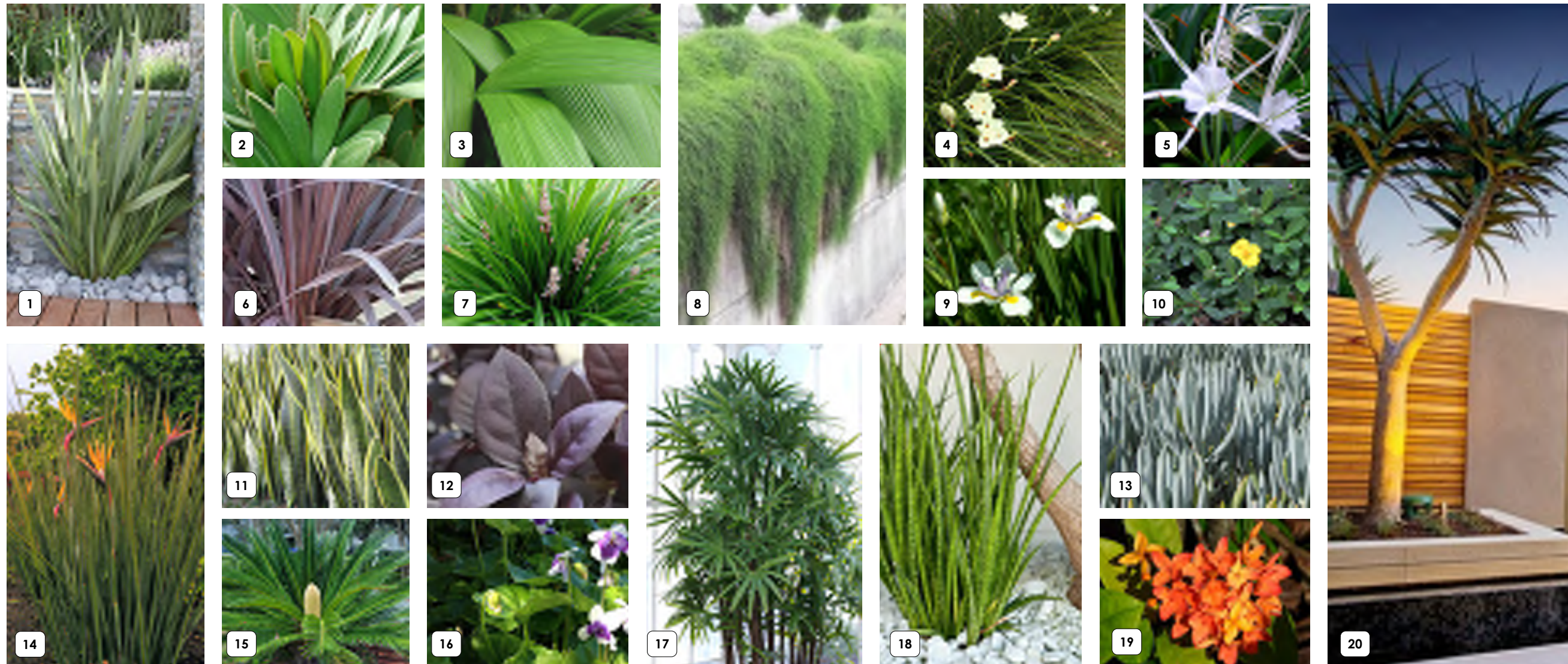

terras
landscape architects

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planting palette - podium/roof

L302

BIRDWOOD BUSINESS CENTRE



plant list

1. Phormium tenax
2. Zamia furfuracea
3. Molineria capitulata
4. Dietes vegeta
5. Hymenocallis littoralis
6. Phormium tenax 'Purpurea'
7. Liriope muscari 'Isabella'
8. Casuarina glauca 'Cousin It'
9. Dietes bicolor
10. Hibbertia scandens

- Flax
- Cardboard Palm
- Palm grass
- African Iris
- Spider Lilly
- Flax
- Isabella
- Cousin It
- Fortnight lily
- Snake Vine

11. Sansevieria trifasciata
12. Alternanthera dentata 'Little Ruby'
13. Senecio serpens
14. Strelitzia juncea
15. Cycas revoluta
16. Viola hederacea
17. Rhaps excels
18. Sansevieria uganda
19. Ixora Chinensis
20. Aloe barberae

- mother-in-law's tongue
- Alternanthera 'Little Ruby'
- Blue Chalksticks
- Strelitzia juncea
- Sago Palm
- Native Violet
- Lady Palm
- Sansevieria
- Prince of Orange
- Tree aloe

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