# cover - PLAN & ELEVATION DRAWINGS



A13 - p/n.11394 - DA ISSUE rev A - MAY 2018



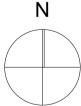
# cover - SITE ANALYSIS DRAWINGS



A04 - p/n.11394 - DA ISSUE rev A - MAY 2018







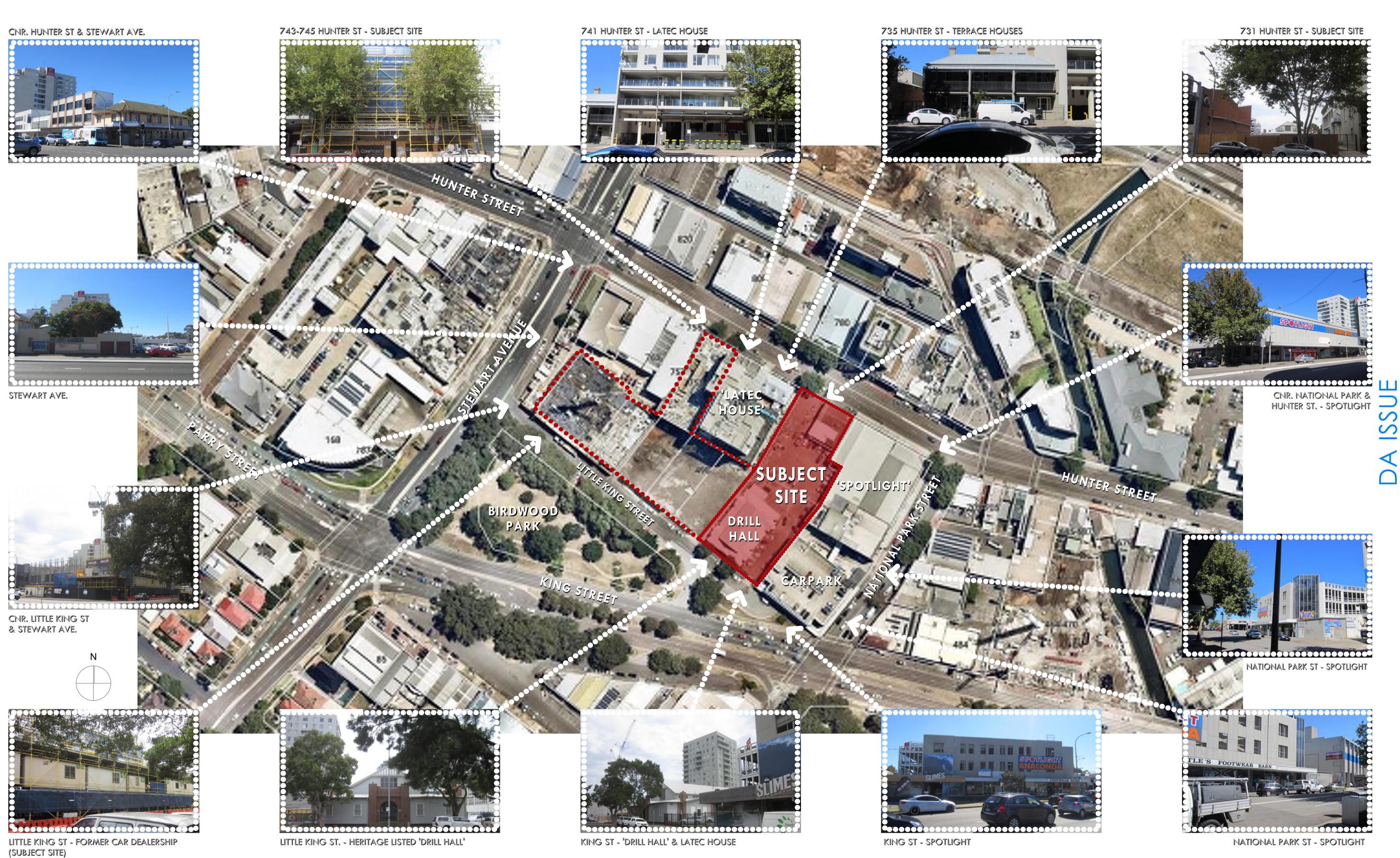






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BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE EXISTING SITE CONTEXT

A06 - p/n.11394 - DA ISSUE rev A - MAY 2018





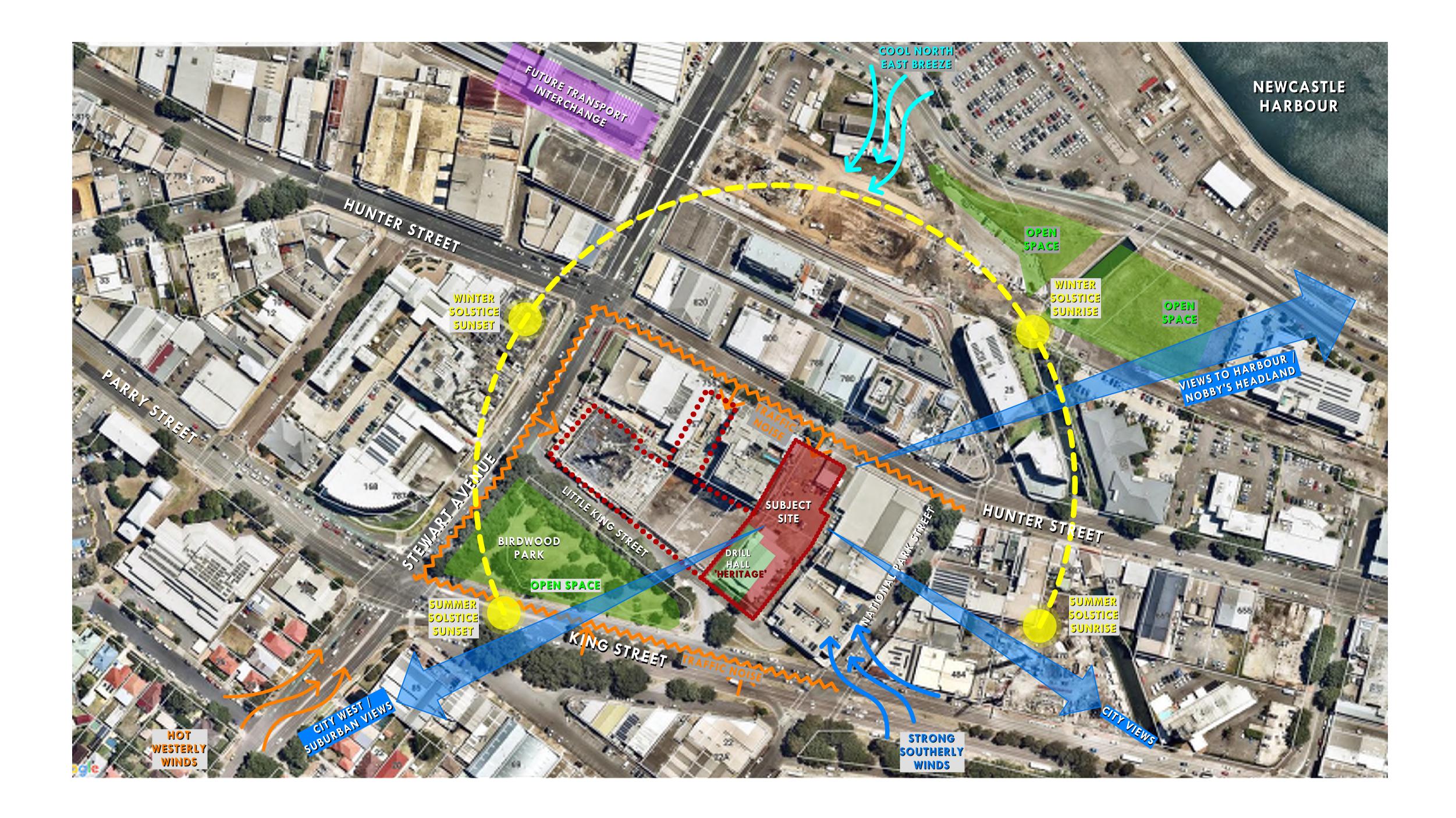


BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE SURROUNDING SITE CONTEXT

A07 - p/n.11394 - DA ISSUE rev A - MAY 2018







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A09 - p/n.11394 - DA ISSUE rev A - MAY 2018









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- Stremaximum sheet wall height (bpical)
- [[[]] Solar access setback zone
- Proposed new open pedesbian link (preferred location)
- 202 Retained through-site-link (Undersroft Fred Ash bidg)
- Connection to be retained and improved
- 5hared zone to be retained and improved
- Special emphasis on corner building

## ---- Active transportage required

**DCP PRECINCT GUIDELINES** 



# Newcastle Local Environmental

Height of Buildings Map -Sheet HOB\_004G

### Maximum Building Height (m)

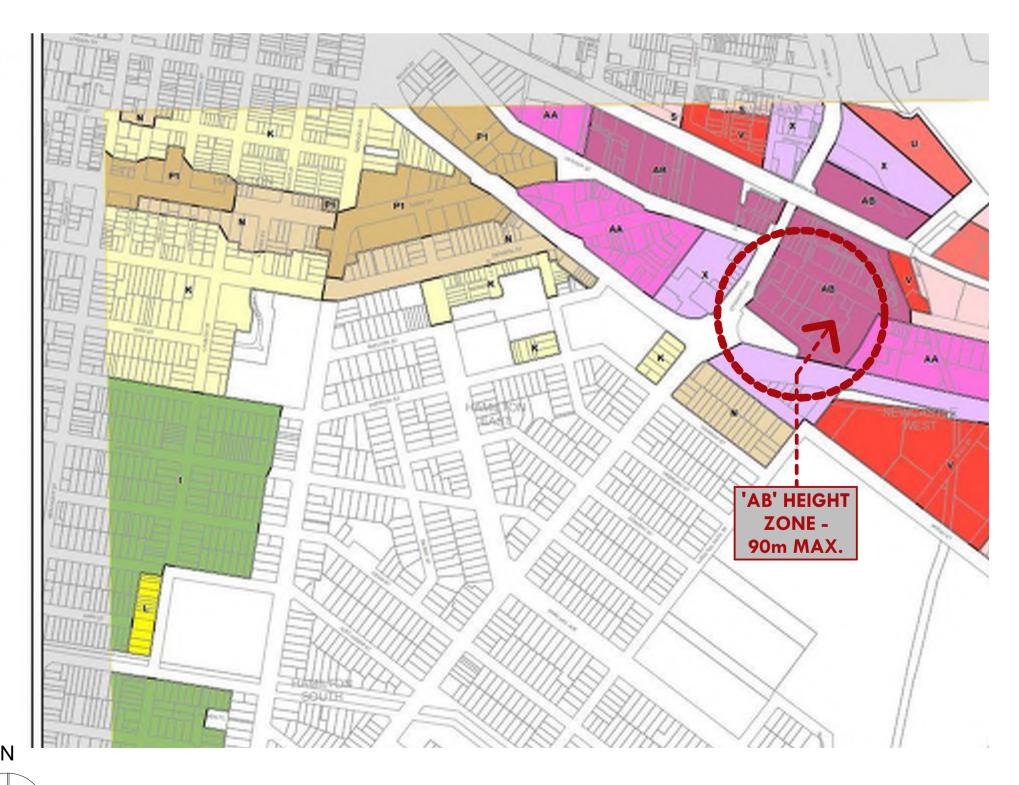
1	8.5
к	10
L	11
M	12
N	14
P1	17
P2	18
Q	20
R	21
S	24
T	27
U	30
V	35
х	45
AA	60
AB	90

## LEP MAX. HEIGHTS

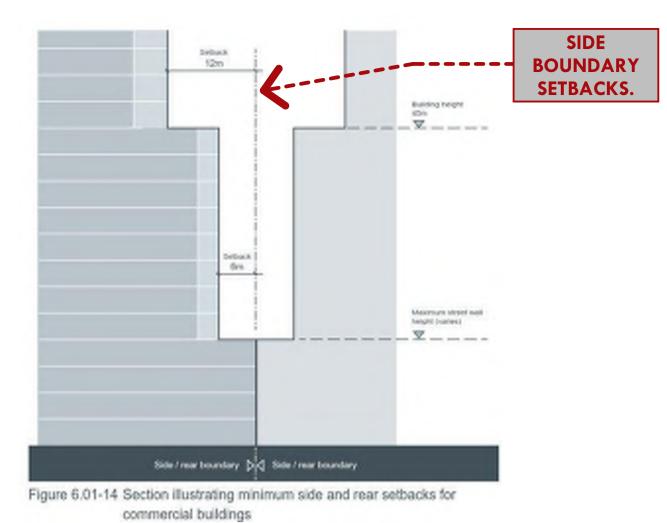
11394-DA-Site C Commercial (27-04-2018).pln - 15.05.2018



- Contributary building (desired neuse)
- 1011 Sile currently under construction 7 in planning phase
- Heritage building outside precinct boundary.
- public open space
- Publicpak
- ---- Cadostre boundary
- Key precinct boundary







**DCP SIDE & REAR SETBACKS** 

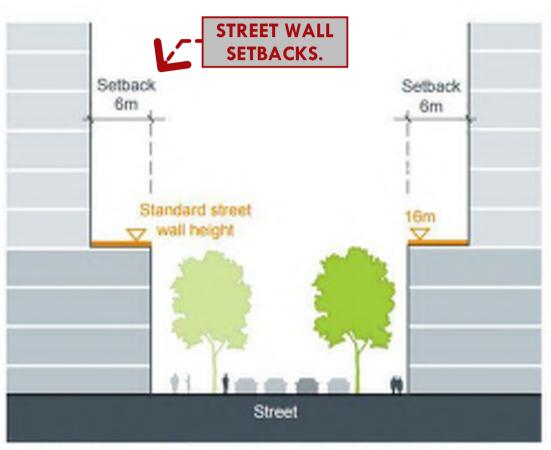


Figure 6.01-12 Section showing the typical 16m street wall height and typical 6m upper level setback

## **DCP STREET WALL SETBACKS**

	1
77865	1
Newcastle	1

**Newcastle Local** Environmental Plan 2012

Floor Space Ratio Map - Sheet FSR\_004G

Maximum Floor Space Ratio (n:1)

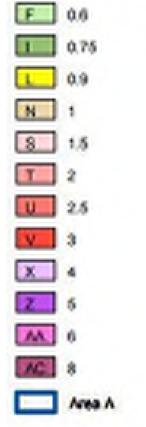
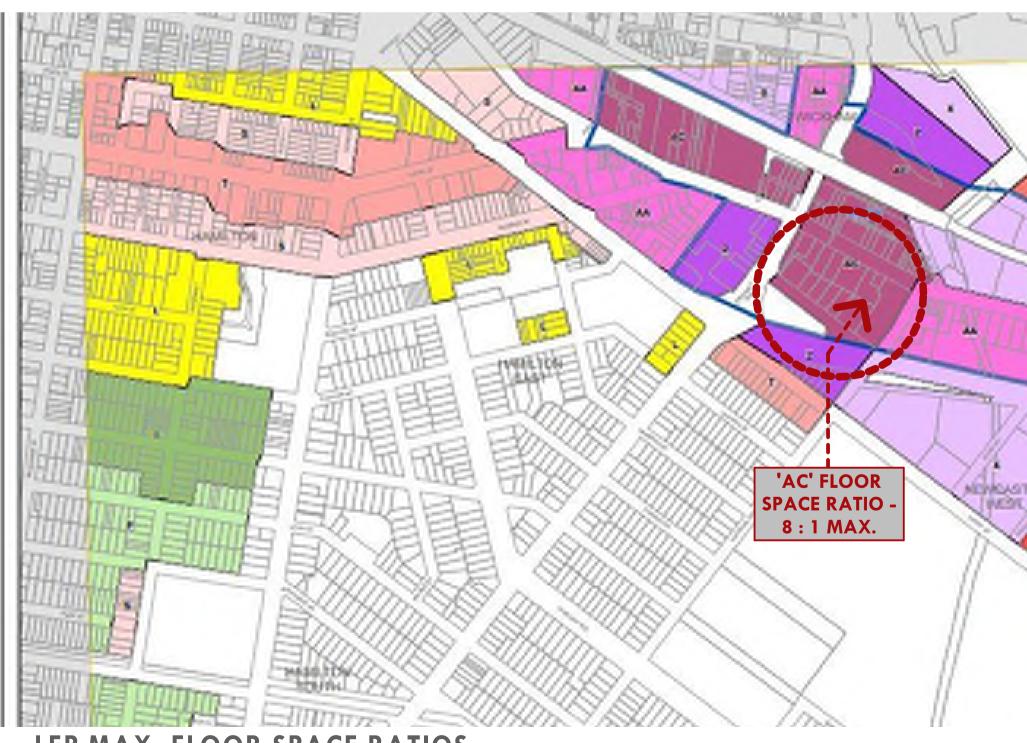




Figure 6.01-13 Building setbacks plan **DCP 'PRIMARY' BUILDING SETBACKS** 



LEP MAX. FLOOR SPACE RATIOS

BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE SITE PLANNING CONTROLS

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# overall net areas summary:

## - total ground level retail = 315m<sup>2</sup>

- level 5 commercial =  $1,020m^2$
- level 6-12 commercial =  $(1,298m^2 \times 7) = 9,086m^2$
- level 13 roof-top activation commercial  $= 684m^2$

## - total commercial = 10,790m<sup>2</sup>





11394-DA-Site C Commercial (27-04-2018).pln - 21.06.2018

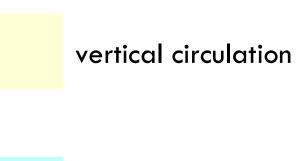


# overall parking summary:

- ground level = 5 acc. spaces + (9 spaces adjacent drill hall) + (68 bicycles)
- level 1 = 48 spaces + (5 motorbikes)
- level 2-3 = (60 spaces x 2) = 120 spaces
- level 4 = 60 spaces + (5 motorbikes)

- total = 233 car spaces + (9 adjacent drill hall) + (10 motorbikes) + (68 bicycles).

## legend



## commercial lobbies

commercial e.o.t. facilitites

lettable retail

carparks

back of house / plant

## lettable areas:

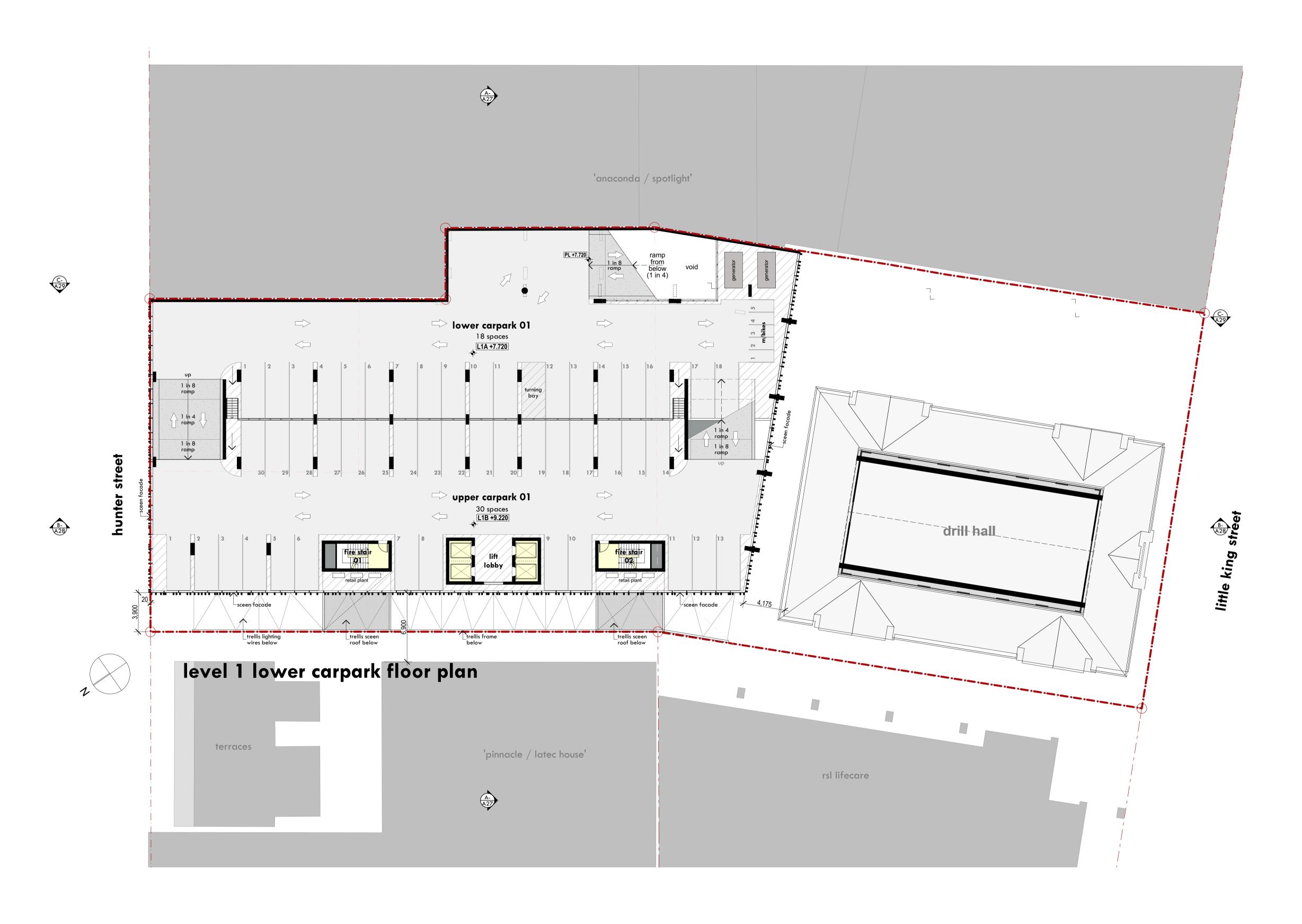
retail  $01 = 195 \text{m}^2$ retail  $02 = 120m^2$ total lettable retail =  $315m^2$ 

total ground level cars = 5 (+ 9 @ drill hall)

ground level  $GFA = 837m^2$ (+ drill hall @ 775m<sup>2</sup>)

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# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVEL 1 - LOWER CARPARK LEVEL FLOOR PLAN 1:200 @ A1 OR 1:400 @ A3

## legend





# carparks

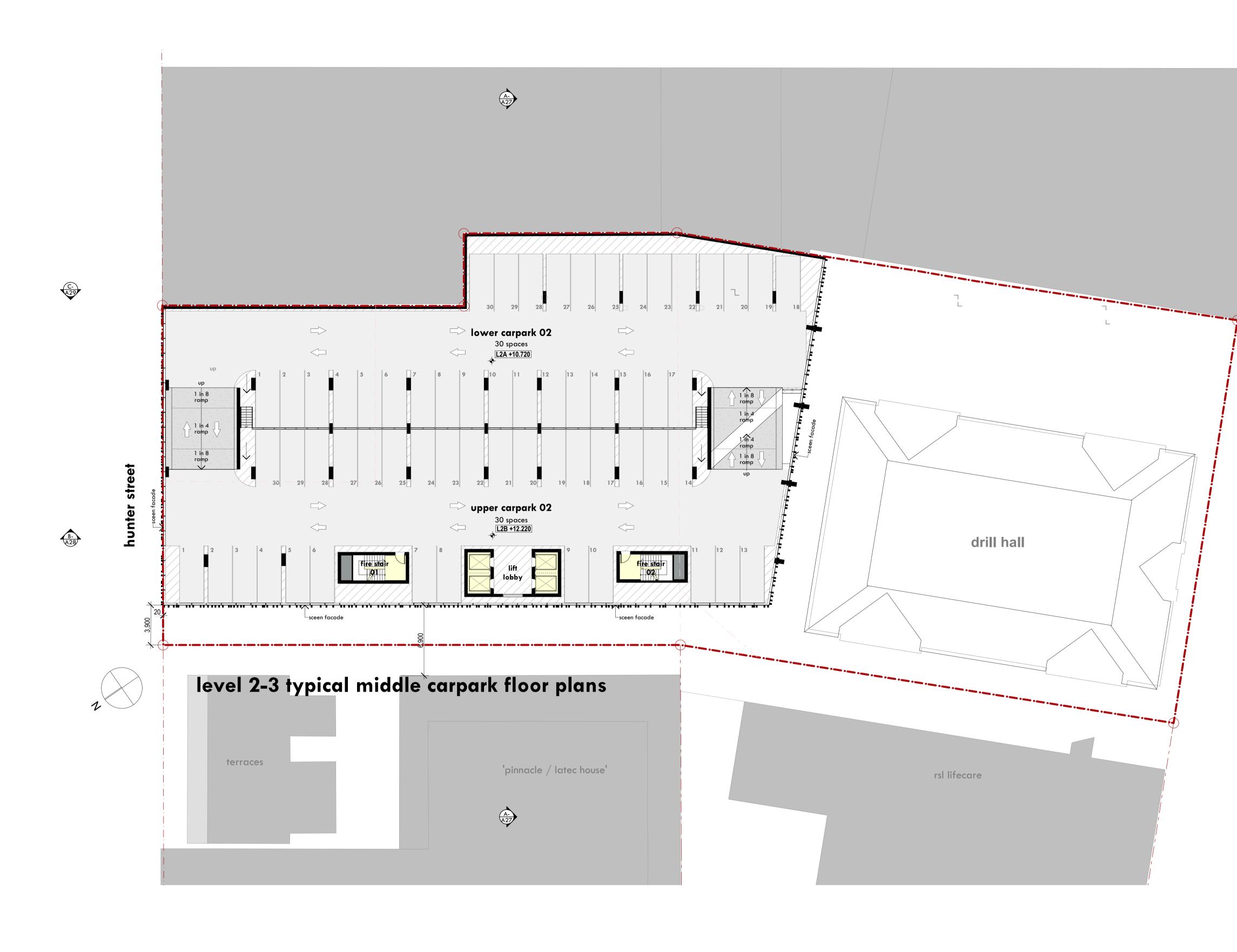
total level 1 cars = 48

level 1 GFA =  $0m^2$ 

ISSUE  $\checkmark$  $\bigcirc$ 

A15 - p/n.11394 - DA ISSUE rev A - MAY 2018







# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVELS 2-3 - TYPICAL MIDDLE CARPARK LEVEL FLOOR PLAN 1:200 @ A1 OR 1:400 @ A3



C-A29

Street

little king :





level 2 cars = 60 level 3 cars = 60

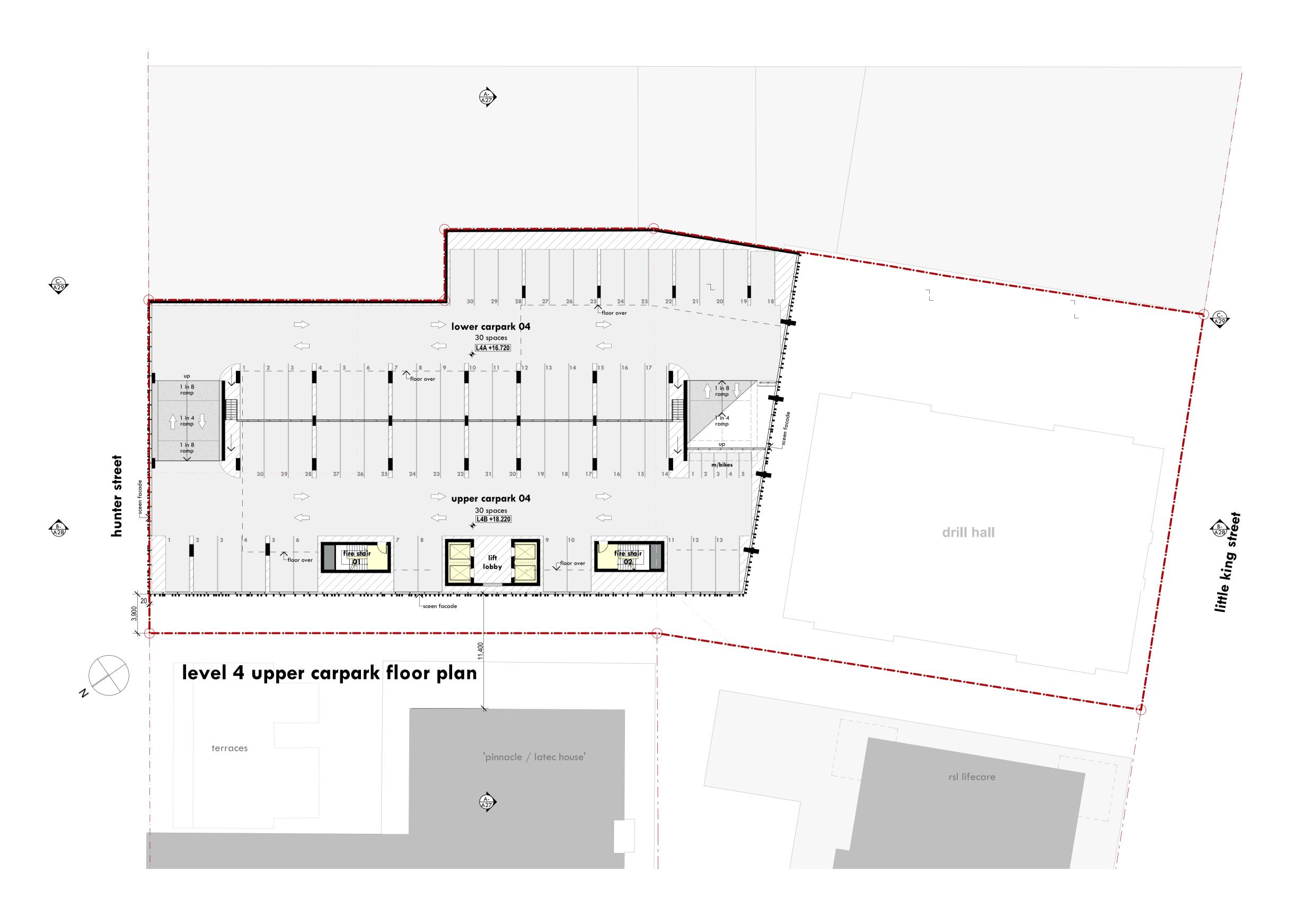
total level 2-3 cars = 120

levels 2-3  $GFA = 0m^2$ 

ISSUE  $\checkmark$  $\bigcap$ 

A16 - p/n.11394 - DA ISSUE rev A - MAY 2018









# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVEL 4 - UPPER CARPARK LEVEL FLOOR PLAN 1:200 @ A1 OR 1:400 @ A3

## legend





total level 4 cars = 60

level 4 GFA =  $0m^2$ 

ISSUE  $\checkmark$  $\bigcirc$ 

A17 - p/n.11394 - DA ISSUE rev A - MAY 2018









# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEW CASTLE LEVEL 5 - COMMERCIAL PODIUM LEVEL FLOOR PLAN

# vertical circulation lettable commercial

commercial lobbies



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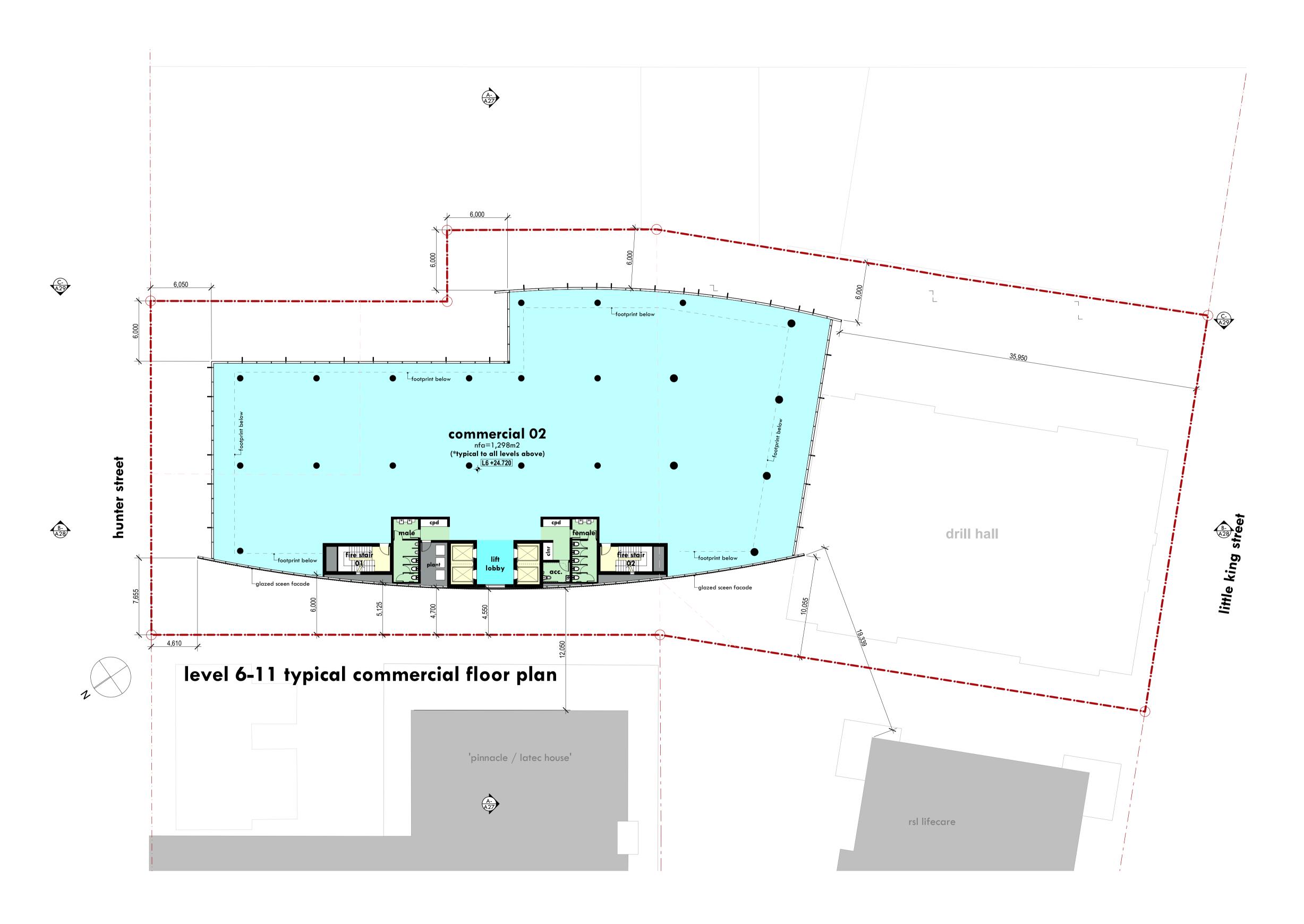
back of house / plant

lettable areas: commercial  $01 = 1,020m^2$ 

level 5 GFA =  $1,098m^2$ 

A18 - p/n.11394 - DA ISSUE rev A - MAY 2018



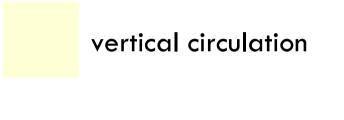






# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVELS 6-11 - TYPICAL COMMERCIAL LEVEL FLOOR PLAN

## legend



lettable commercial

commercial lobbies

amenitites

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back of house / plant

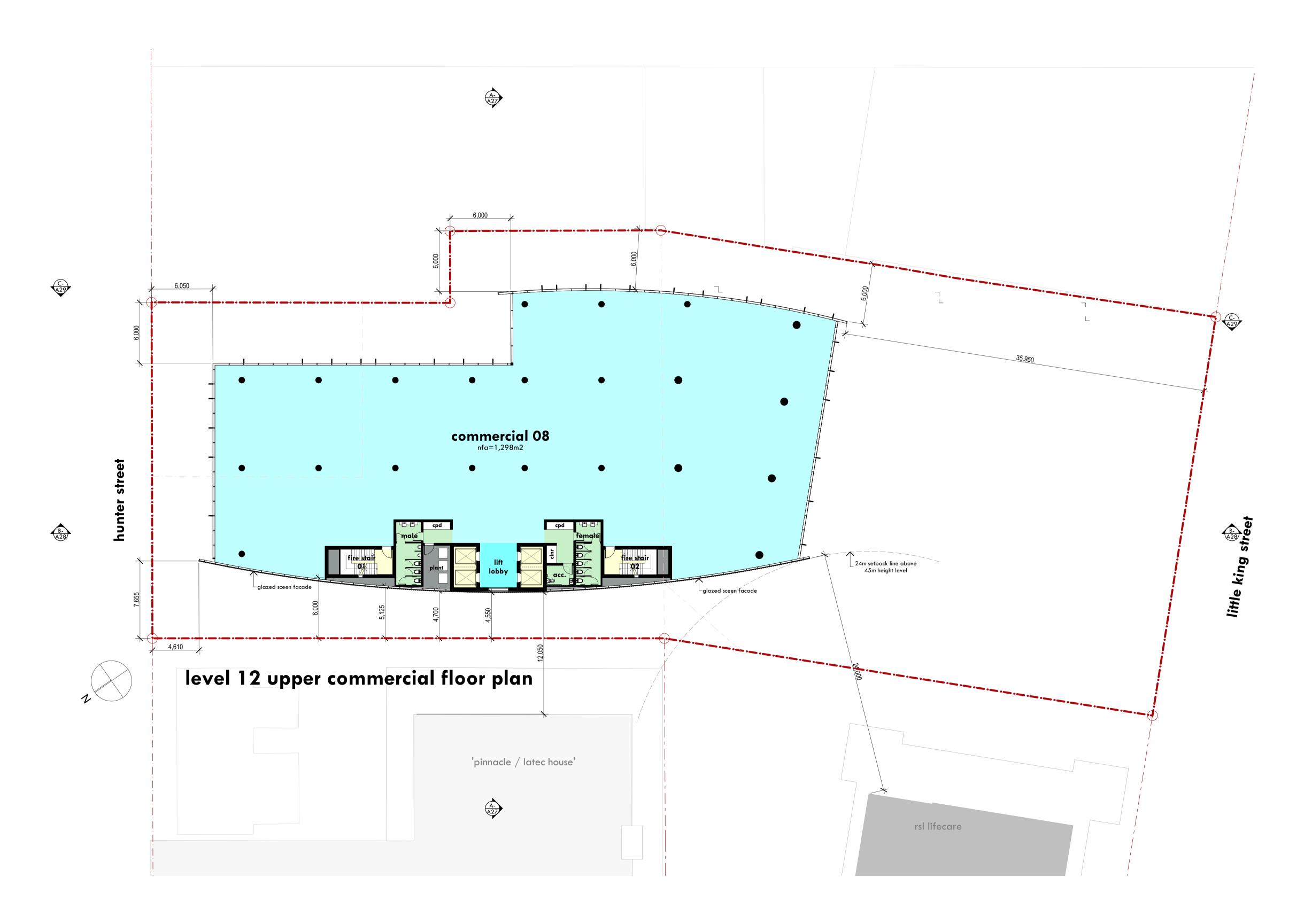
## lettable areas:

commercial  $02 = 1,298m^2$ x 6 levels =  $7,788m^2$ 

levels 6-11 GFA =  $1,375m^2$  each  $(x \ 6 \ \text{levels} = 8,250 \text{m}2)$ 





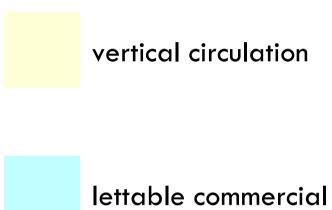






# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVEL 12 - UPPER COMMERCIAL LEVEL FLOOR PLAN

## legend



commercial lobbies

amenitites

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back of house / plant

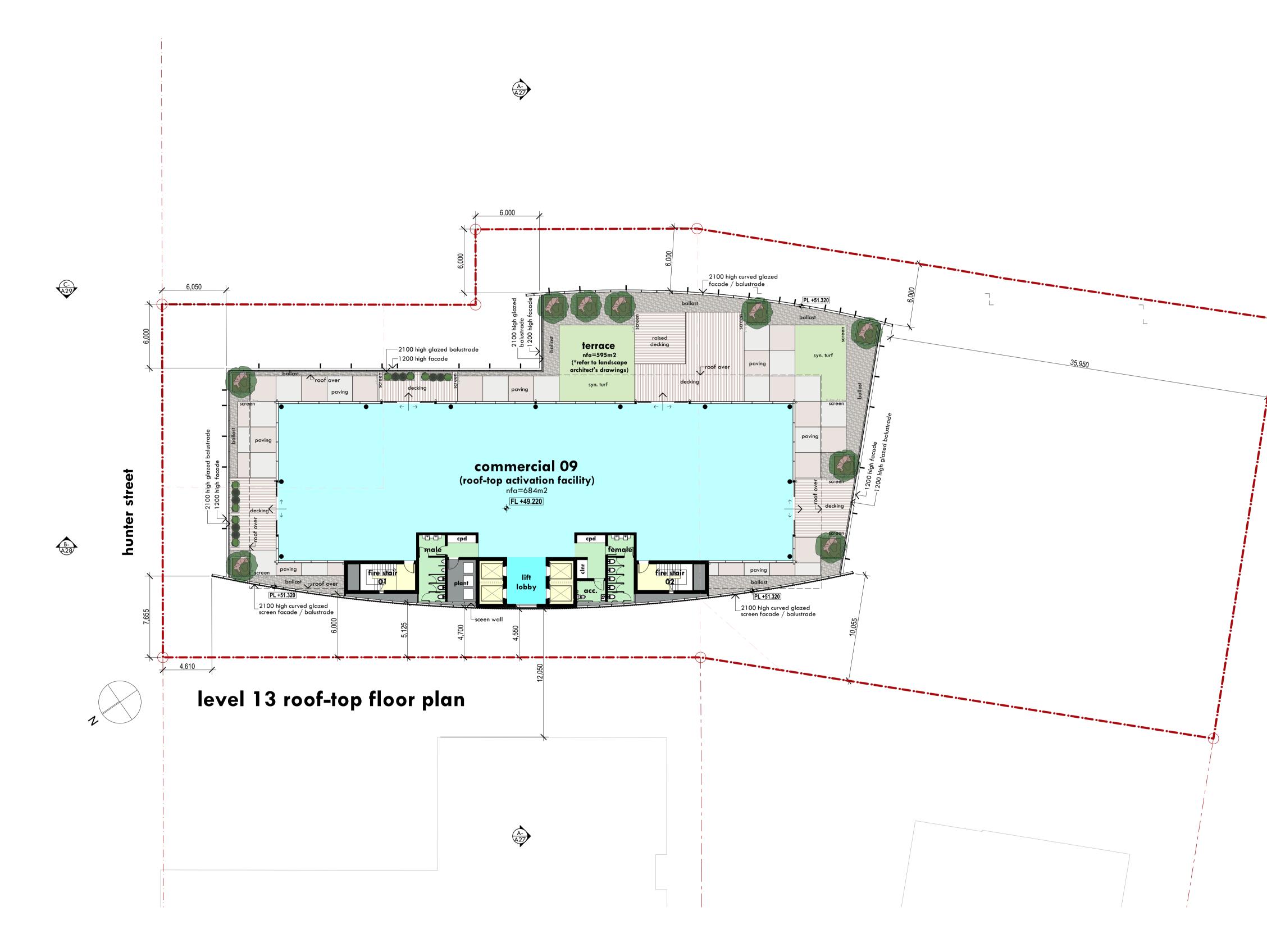
lettable areas:

commercial  $08 = 1,298m^2$ 

level 12 GFA =  $1,350m^2$ 

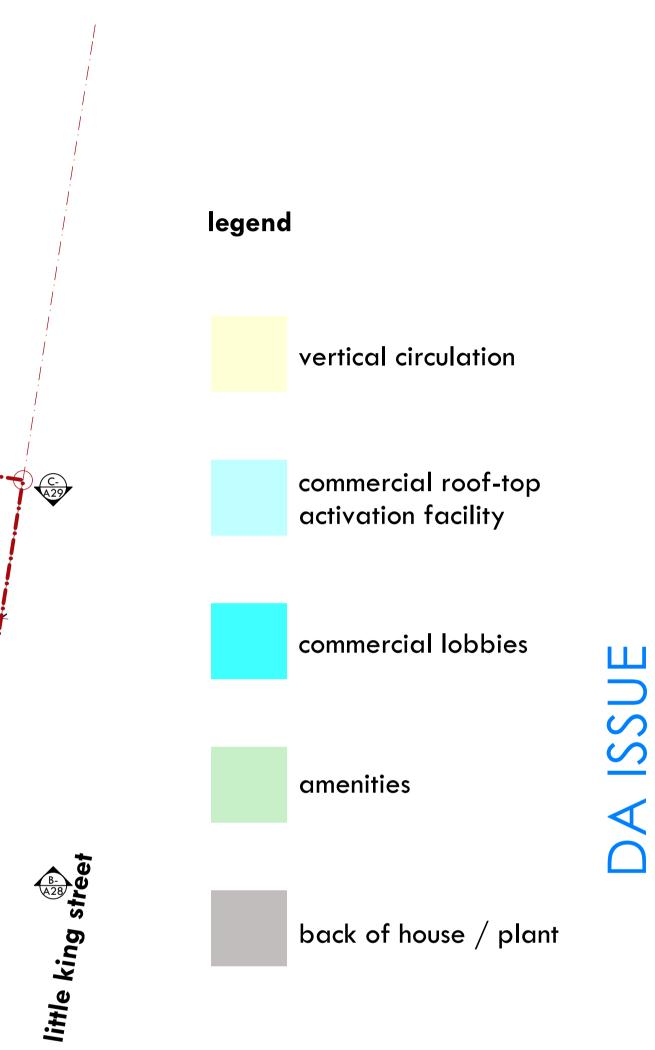
A20 - p/n.11394 - DA ISSUE rev A - MAY 2018







# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LEVEL 13 - ROOF-TOP ACTIVATION FLOOR PLAN

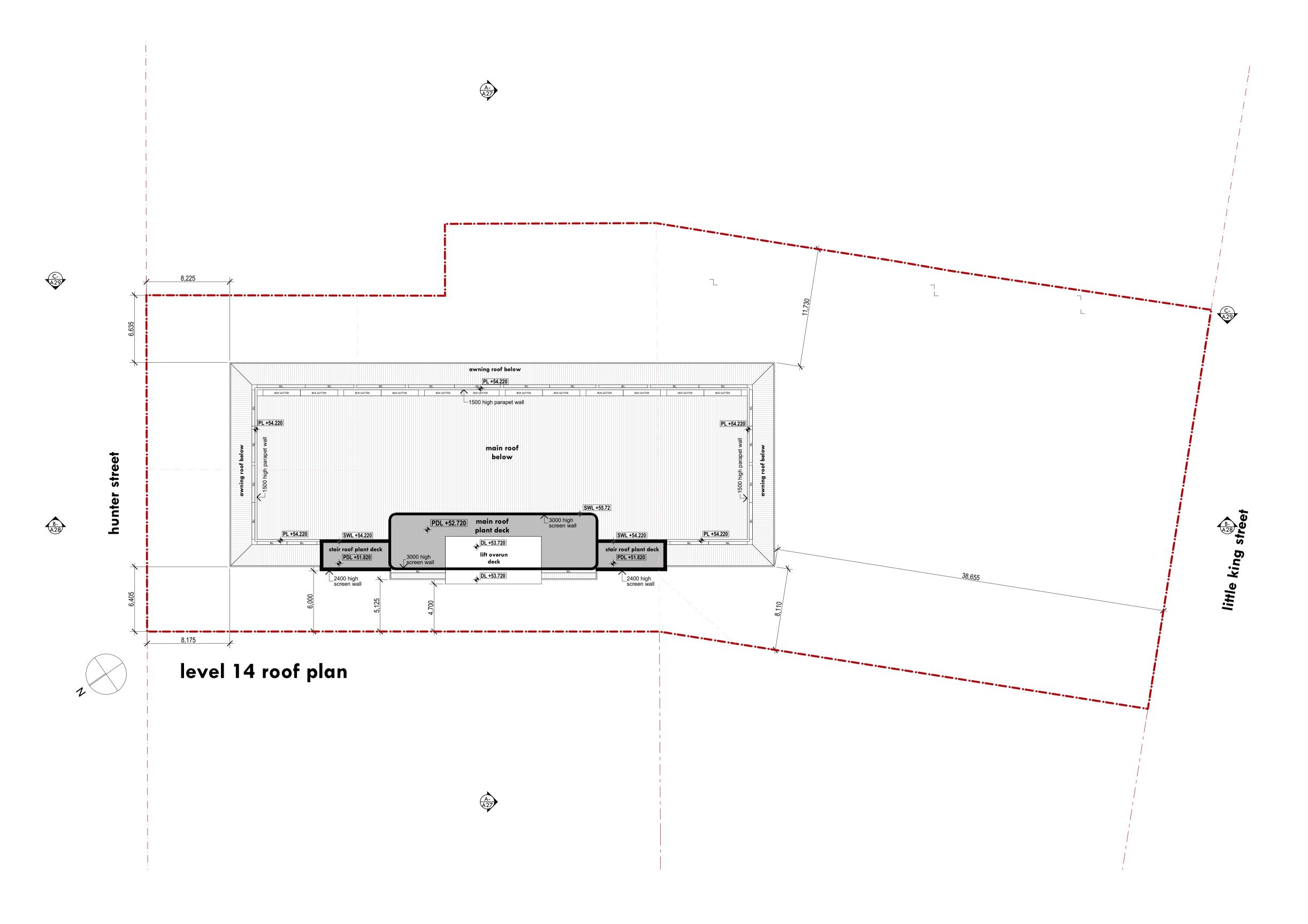


lettable areas: roof-top activation facility =  $684m^2$ 

level 13 GFA = 761m<sup>2</sup>

A21 - p/n.11394 - DA ISSUE rev A - MAY 2018







# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEW CASTLE LEVEL 14 - ROOF PLAN 1:200 @ A1 OR 1:400 @ A3

## legend



plant

ш SU  $\boldsymbol{\mathcal{S}}$  $\bigcap$ 

A22 - p/n.11394 - DA ISSUE rev A - MAY 2018



ROOF					
RL +52.720			·		
	48m 'bui	lding' hei	ght abov	e NGL	
LEVEL 13					
RL +49.220					
LEVEL 12					iii
RL +45.720			· ¦		
LEVEL 11					
RL +42.220			·		
LEVEL 10			·		
RL +38.720			· <u>·</u>		
					i
LEVEL 9					
RL +35.220			·		
LEVEL 8					
RL +31.720			· †		
LEVEL 7					
RL +28.220			· : i		
			•		
LEVEL 6					
RL +24.720			· + ·		
			[n].	<u> </u>	
LEVEL 5					
RL +21.220			· [		
LEVEL 4					
RL +16.720					
LEVEL 3 RL +13.720		·	·		
LEVEL 2					
RL +10.720			T T		
		spotlight	i j		
LEVEL 1 RL +7.720		·	· ; ;		
			q		
GROUND LEVEL RL +3.220				/-	

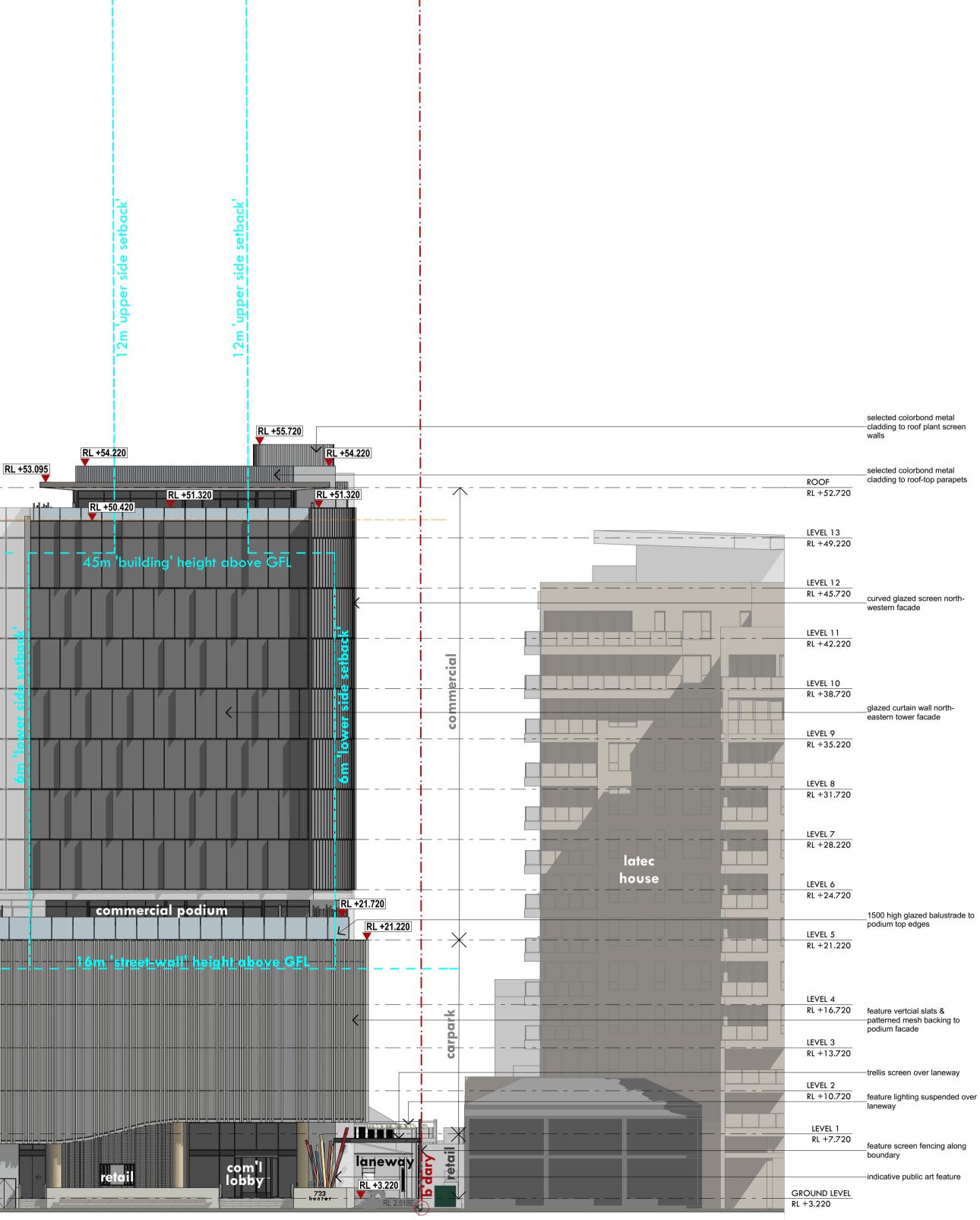


# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE HUNTER STREET / N.E. ELEVATION 1:200 @ A1 OR 1:400 @ A3



<u>90m LEP height-limit\_above GEL</u>

\*NGL = natural ground level \*GFL = ground floor level







feature screen fencing along

-trellis screen over laneway

1500 high glazed balustrade to podium top edges

selected colorbond metal cladding to roof-top parapets

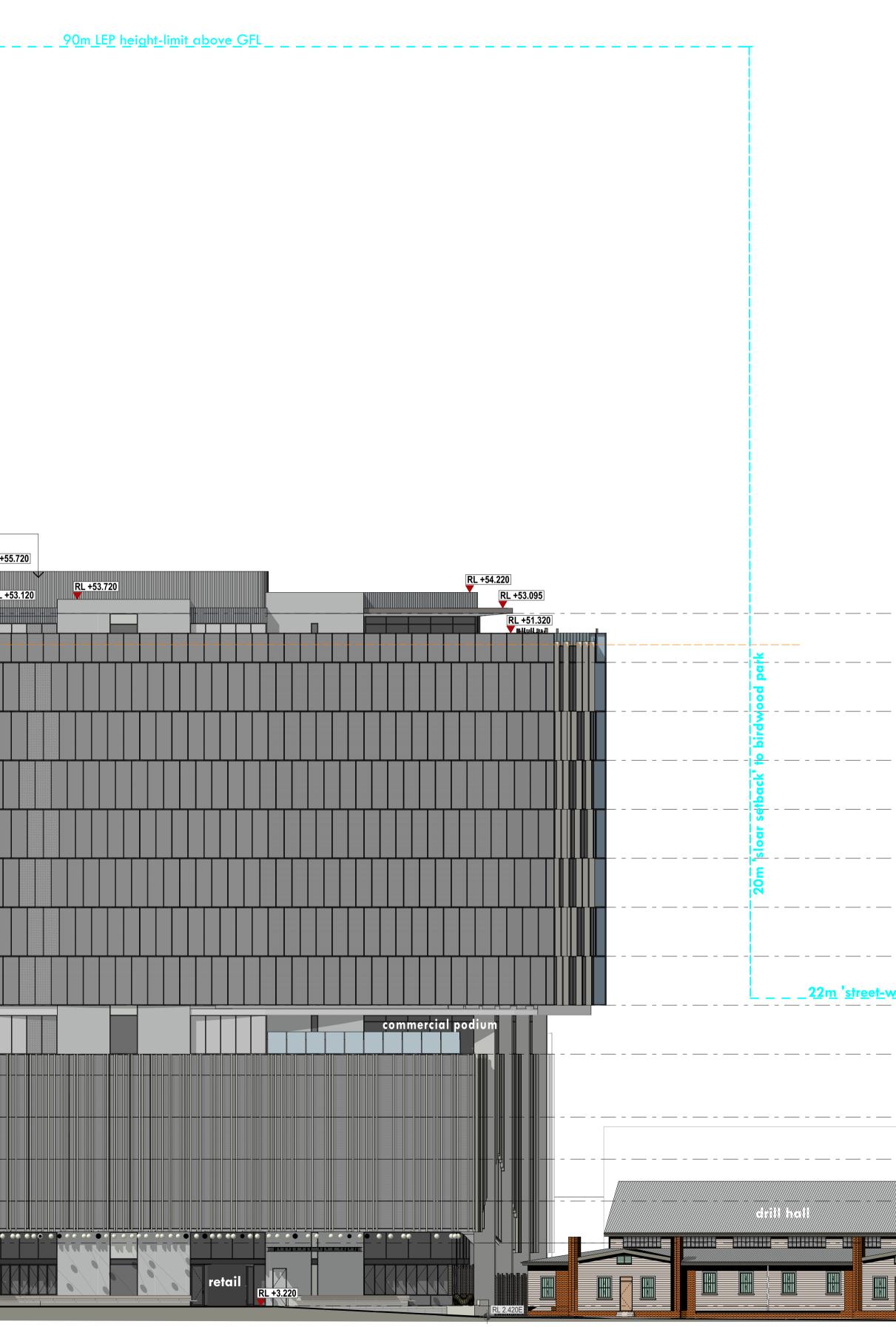
—cladding to roof plant screen

# ш **SSU** $\square$

	selected colorbond metal cladding to roof plant screen			
	walls			
	selected colorbond metal			RL +
	cladding to roof-top parapets	RI	+53.095	RL +54.220
		İ İ .		
RL +52.720		RL +5'		
	48m buil	ding' height above NGL		
LEVEL 13 RL +49.220				
LEVEL 12				
RL +45.720	curved glazed screen north			
	western facade	<u></u>		
LEVEL 11				
RL +42.220		<u> </u>		
	_			
LEVEL 10 RL +38.720		·		┶┯┶┯┷┯┷┯┷
	Jer			
LEVEL 9				
RL +35.220				
LEVEL 8		· · _ · _ · _ · _ · _ · _ ·		
RL +31.720				
LEVEL 7		╶╶┈╴╴┈╴╴ <mark>╴</mark> ╴┈╴╴┈╴┾┯┻┯╸		╷╴╴╴╴
LEVEL 6				
RL +24.720		RL +22.720		
	1500 high glazed balustrade to podium top edges	RL +21.230	commercial podi	
LEVEL 5	🔆			
RL +21.220		16m street- watt height		
LEVEL 4				
RL +16.720	feature vertcial slats & patterned mesh backing to podium facade			
	patterned mesh backing to podium facade			
LEVEL 3 RL +13.720	·			
	trellis screen over laneway			
LEVEL 2				
RL +10.720	feature lighting suspended over laneway			
LEVEL 1	$\downarrow$			
RL +7.720				
	😑 hunter st.			
GROUND LEVEL	indicative public art feature		retail RL +3.2	20







n.w. / laneway elevation

\*NGL = natural ground level \*GFL = ground floor level



A24 - p/n.11394 - DA ISSUE rev A - MAY 2018

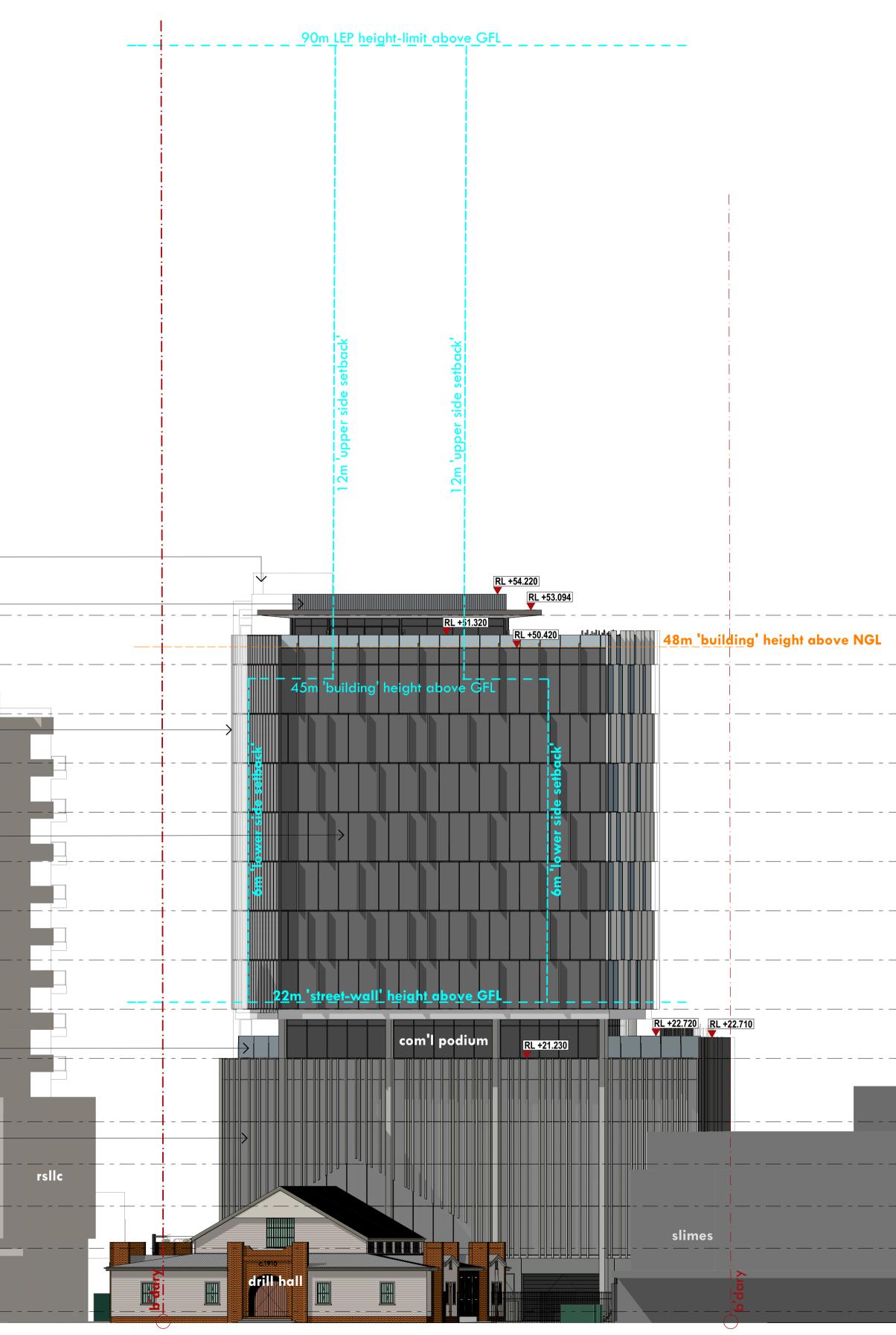


				ROOF
				RL +52.720
	İ.			LEVEL 13
				RL +49.220
				LEVEL 12
		!		RL +45.720
		·   ·		LEVEL 11
		<u> </u>		RL +42.220
				LEVEL 10
				RL +38.720
		 		LEVEL 9
				RL +35.220
				LEVEL 8
				RL +31.720
	<u>.</u>			LEVEL 7 RL +28.220
		-		KL +20.220
/all' height	<u> </u> 	! 		LEVEL 6 RL +24.720
		 		LEVEL 5 RL +21.220
	1	•		LEVEL 4
				RL +16.720
	<u>i</u>	: 		LEVEL 3 RL +13.720
				LEVEL 2 RL +10.720
				LEVEL 1
	,,			RL +7.720
		littl	le king st.	
				GROUND LEVEL RL +3.220
	~			

selected colorbond metal		
cladding to roof plant screen		
walls		
selected colorbond metal		
cladding to roof-top parapets	ROOF	 
	RL +52.720	
	LEVEL 13	 
	RL +49.220	
	LEVEL 12 RL +45.720	 
curved glazed screen north	KL +45.720	
western facade		
	LEVEL 11	
	RL +42.220	
	LEVEL 10	
	RL +38.720	 +
glazed curtain wall south-		
western tower facade		
	LEVEL 9	
	RL +35.220	
	LEVEL 8	
	RL +31.720	
	LEVEL 7	 
	RL +28.220	
	LEVEL 6	
	RL +24.720	
1500 birth alarad balvaturada ta		
1500 high glazed balustrade to podium top edges	LEVEL 5	
	RL +21.220	
	LEVEL 4	
feature vertcial slats &	RL +16.720	
patterned mesh backing to— podium facade		
poduli lacade	LEVEL 3	
	RL +13.720	 
	LEVEL 2	
	RL +10.720	 
	12 100 20	
	LEVEL 1	 
	RL +7.720	
	GROUND LEVEL RL +3.220	 
	NL 13.220	







# little king st. elevation

\*NGL = natural ground level \*GFL = ground floor level

# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE LITTLE KING STREET / S.W. ELEVATION 1:200 @ A1 OR 1:400 @ A3

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GROUND LEVEL RL +3.220

LEVEL 4 RL +16.720

LEVEL 3 RL +13.720

LEVEL 2 RL +10.720

LEVEL 1 RL +7.720

LEVEL 5 RL +21.220

LEVEL 6 RL +24.720

LEVEL 7 RL +28.220

LEVEL 8 RL +31.720

LEVEL 9 RL +35.220

LEVEL 10 RL +38.720

LEVEL 11 RL +42.220

LEVEL 12 RL +45.720

ROOF RL +52.720 LEVEL 13 RL +49.220

SSU

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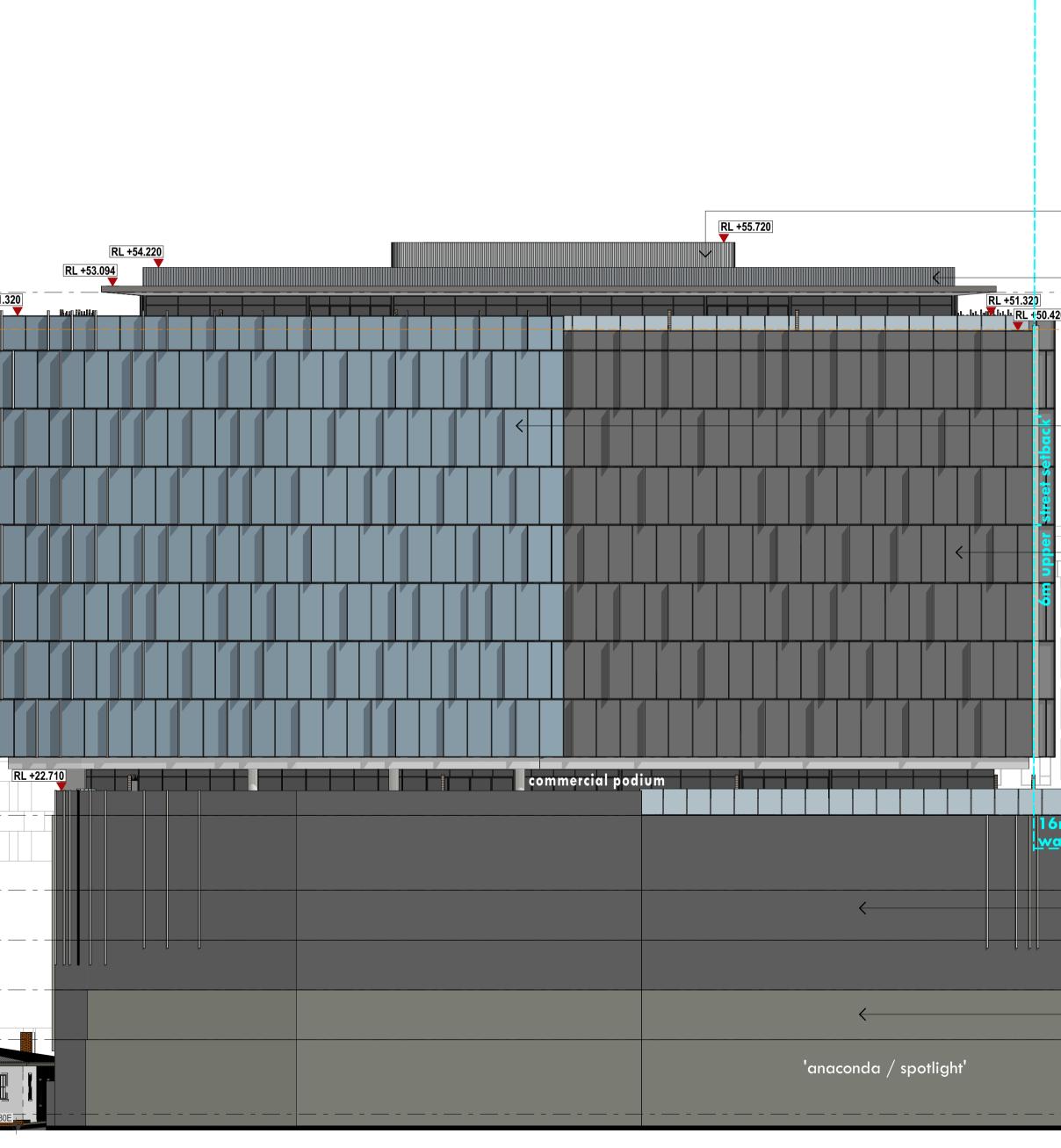


ROOF RL +52.720							RL +51.
LEVEL 13				·			
RL +49.220							
LEVEL 12 RL +45.720	<u>-</u> <u> </u>	- <u> </u>					
LEVEL 1 1 RL +42.220							
LEVEL 10 RL +38.720	   					[	
LEVEL 9							
LEVEL 8	   	_ i	] 		sloar		
LEVEL 7 RL +28.220							
LEVEL 6 RL +24.720		_ F	<u>22m 'stra</u>	eet-wall' h	eight _		
LEVEL 5 RL +21.220	   						
LEVEL 4							
LEVEL 3 RL +13.720		_ <u> </u>					
LEVEL 2							-
LEVEL 1 RL +7.720							
GROUND LEVEL little king st.		biddry					RL 2.480

# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE S.E. ELEVATION 1:200 @ A1 OR 1:400 @ A3

# s.e. elevation

\*NGL = natural ground level \*GFL = ground floor level





EJE architecture

it above NGL	
	LEVEL 13
	LEVEL 12
curved glazed part south-	RL +45.720
eastern facade	
	LEVEL 11
	RL +42.220
	LEVEL 10
	RL +38.720
	LEVEL 9 RL +35.220
	RL +33.220
	LEVEL 8
	LEVEL 7
	RL +28.220
	LEVEL 6
	RL +24.720
1500 high glazed balustrade to	
poulum top edges	
	LEVEL 5 RL +21.220
	LEVEL 4
paint finished concrete walls	
along boundary above existing	
buildings	
	LEVEL 3 RL +13.720
	KL + 13.7 20
	Π
	LEVEL 2
plain concrete walls along	RL +10.720
———boundary adjacent existing	
	LEVEL 1
	RL +7.720
humber at	
nunter st.	
	GROUND LEVEL
	RL +3.220

# ш SU $\sim$ $\square$

ROOF

selected colorbond metal

cladding to roof-top parapets

selected colorbond metal —cladding to roof plant screen walls

	12m 'upper side setback'	12m 'upper side setback'		
<u>+52.720</u>	RL +53.09			<u>+52.720</u> 15 ROOF
<b>48m 'building' heigh</b> +49.220 14 LEVEL 13	above NGL RL +50.420 t		ift	<u>+49.220</u> 14 LEVEL 13
+45.720 13 LEVEL 12 +42.220			by ift	+45.720 13 LEVEL 12 +42.220
12 LEVEL 11 +38.720 11 LEVEL 10			ift oby	12 LEVEL 11 +38.720 11 LEVEL 10
+35.220 10 LEVEL 9 +31.720			b  y     iff     b  y	+35.220 10 LEVEL 9 +31.720
9 LEVEL 8 +28.220 8 LEVEL 7			ift	+31.720 9 LEVEL 8 +28.220 8 LEVEL 7
+24.720 7 LEVEL 6 +21.220	RL +22.720 terrace ← →		ift by ift y	+24.720 7 LEVEL 6 +21.220
6 LEVEL 5	lower carpark 0	upper carpark 04	ift	6 LEVEL 5 +16.720
5 LEVEL 4 +13.720 4 LEVEL 3	lower carpark 0	vpper carpark 02	ift	5 LEVEL 4 +13.720 4 LEVEL 3
+10.720 3 LEVEL 2 +7.720 2 LEVEL 1 'anaconda / spotlight'	lower carpark 0	upper carpark 01		+10.720 3 LEVEL 2  atec house' +7.720 2 LEVEL 1
+3.220 GROUND LEVEL	ground carparl	k foyer com'l lobby	lift public pedestrian laneway	+3.220 1 GROUND LEVEL

\_ 20m LEP\_height-limit above GFL

11394-DA-Site C Commercial (27-04-2018).pln - 15.05.2018



# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE SECTION A-A 1:20 @ A1 OR 1:400 @ A3

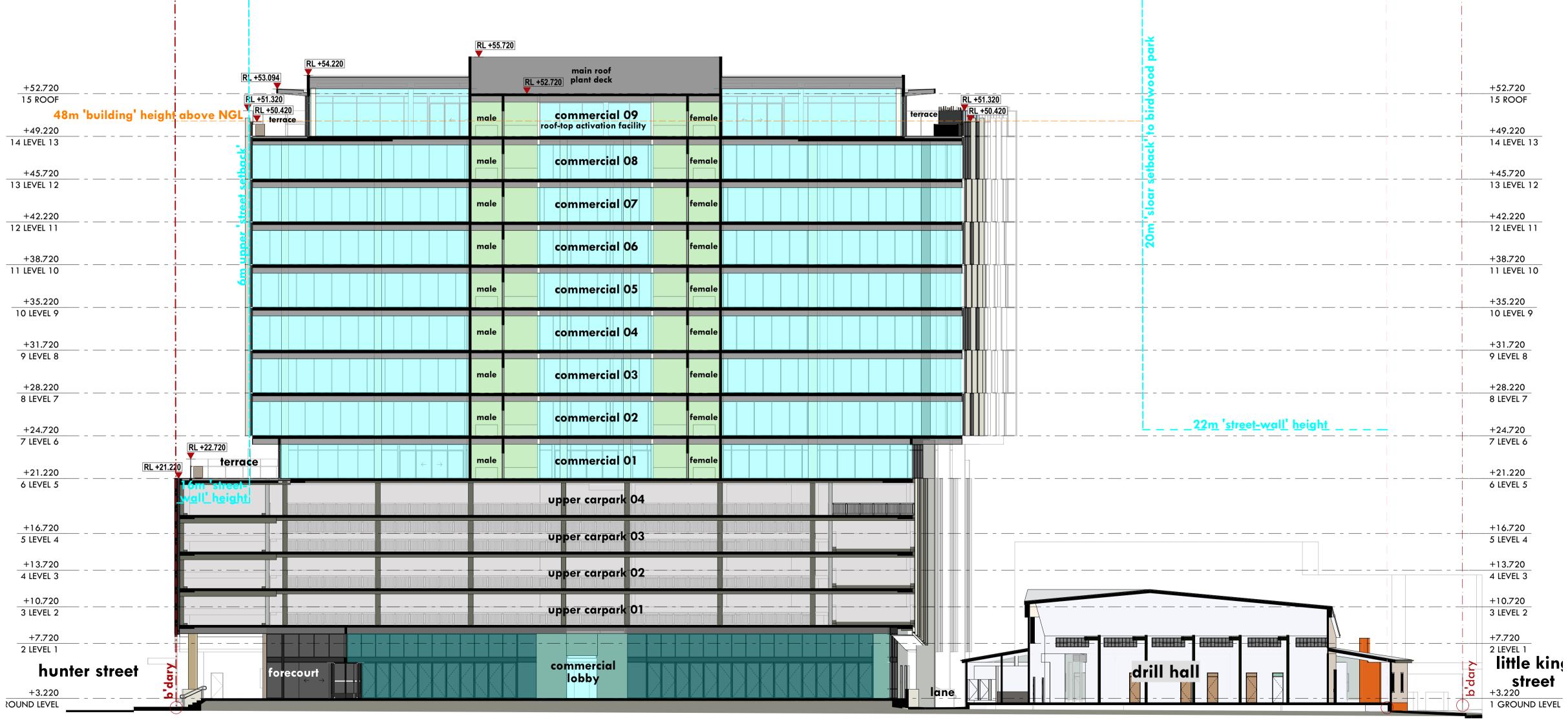
section a-a-

\*NGL = natural ground level \*GFL = ground floor level

# ш **ISSUI** $\checkmark$ $\square$

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section b-b

\*NGL = natural ground level \*GFL = ground floor level



ш SU  $\underline{\mathbf{S}}$  $\square$ 

A28 - p/n.11394 - DA ISSUE rev A - MAY 2018



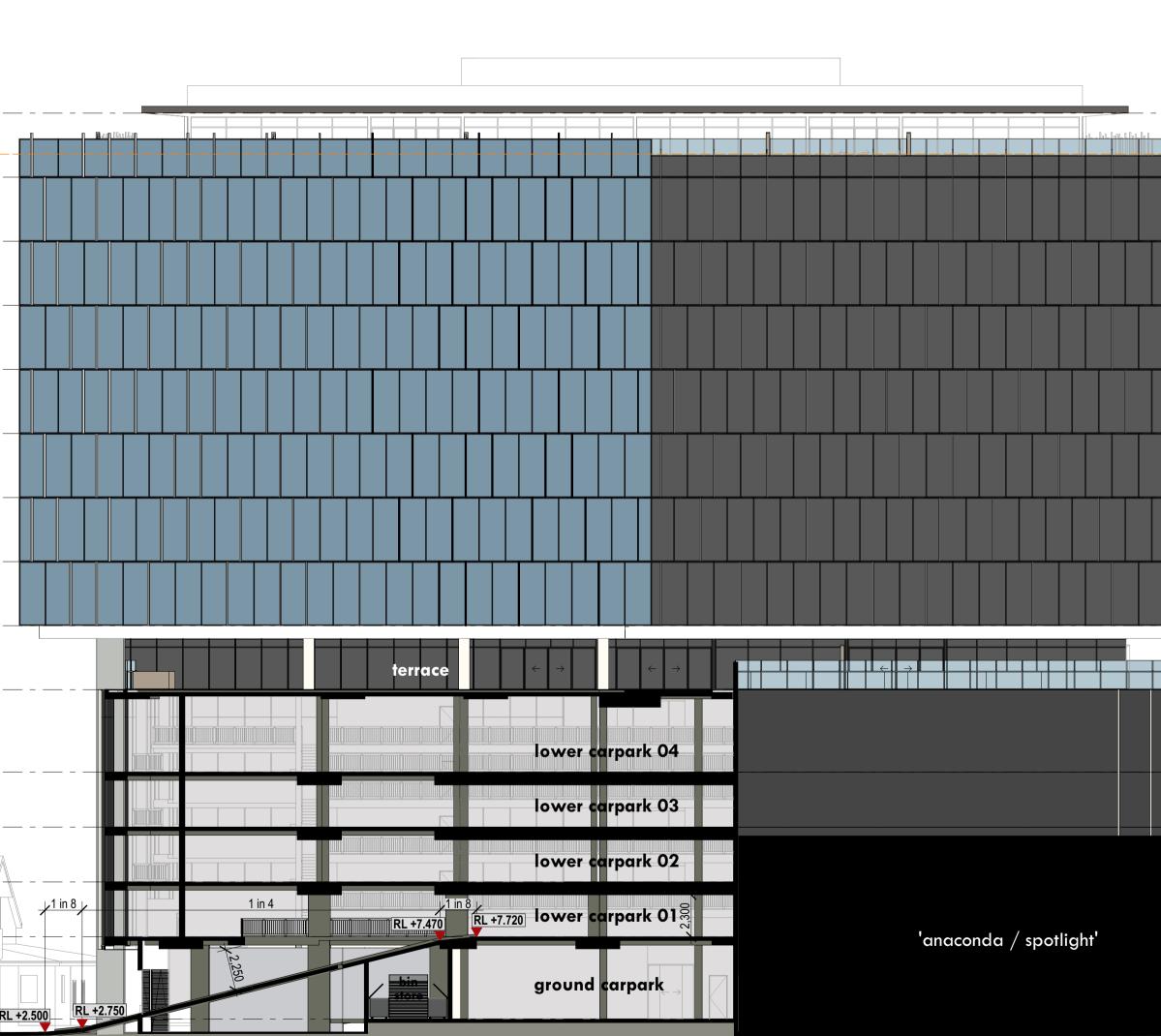
15 ROOF      +49.220      LEVEL 13      +45.720      LEVEL 12      +42.220      LEVEL 11      +38.720      LEVEL 11      +38.720      LEVEL 11      +38.720      LEVEL 11      +38.720      LEVEL 11      +35.220      DLEVEL 8      +31.720      PLEVEL 8      +28.220      B LEVEL 7      +24.720      7 LEVEL 6      +21.220      5 LEVEL 7      +10.720      5 LEVEL 4      +13.720      4 LEVEL 3      +10.720      3 LEVEL 2      +7.720      2 LEVEL 1			
+42.220 IEVEL 11 +38.720 IEVEL 10 +35.220 0 IEVEL 9 +31.720 9 IEVEL 8 +28.220 8 IEVEL 7 +24.720 7 IEVEL 6 +21.220 6 IEVEL 5 +16.720 5 IEVEL 4 +1.3.720 4 IEVEL 5 +16.720 5 IEVEL 4 +1.3.720 4 IEVEL 5 +10.720 5 IEVEL 4 +1.3.720 5 IEVEL 5 +1.5.720 5 IEVEL 4 +1.3.720 5 IEVEL 1 5 IEVEL 1		 - 	
IS ROOF +49.220 LEVEL 13 +45.720 LEVEL 12 +42.220 LEVEL 12 +42.220 LEVEL 11 +38.720 LEVEL 10 +33.720 9 LEVEL 10 +31.720 9 LEVEL 8 +28.220 8 LEVEL 7 +24.720 7 LEVEL 6 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 1 +17.720 2 LEVEL 1 +17.720 -17.72			
IS ROOF +49.220 LEVEL 13 +45.720 LEVEL 12 +42.220 LEVEL 12 +42.220 LEVEL 11 +38.720 LEVEL 10 +33.720 9 LEVEL 10 +31.720 9 LEVEL 8 +28.220 8 LEVEL 7 +24.720 7 LEVEL 6 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 1 +17.720 2 LEVEL 1 +17.720 -17.72			
IS ROOF +49.220 LEVEL 13 +45.720 LEVEL 12 +42.220 LEVEL 12 +42.220 LEVEL 11 +38.720 LEVEL 10 +33.720 9 LEVEL 10 +31.720 9 LEVEL 8 +28.220 8 LEVEL 7 +24.720 7 LEVEL 6 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 5 +16.720 5 LEVEL 1 +17.720 2 LEVEL 1 +17.720 -17.72			
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# BIRDWOOD BUSINESS CENTRE 723 HUNTER ST., NEWCASTLE SECTION C-C 1:200 @ A1 OR 1:400 @ A3

section c-c

\*NGL = natural ground level \*GFL = ground floor level



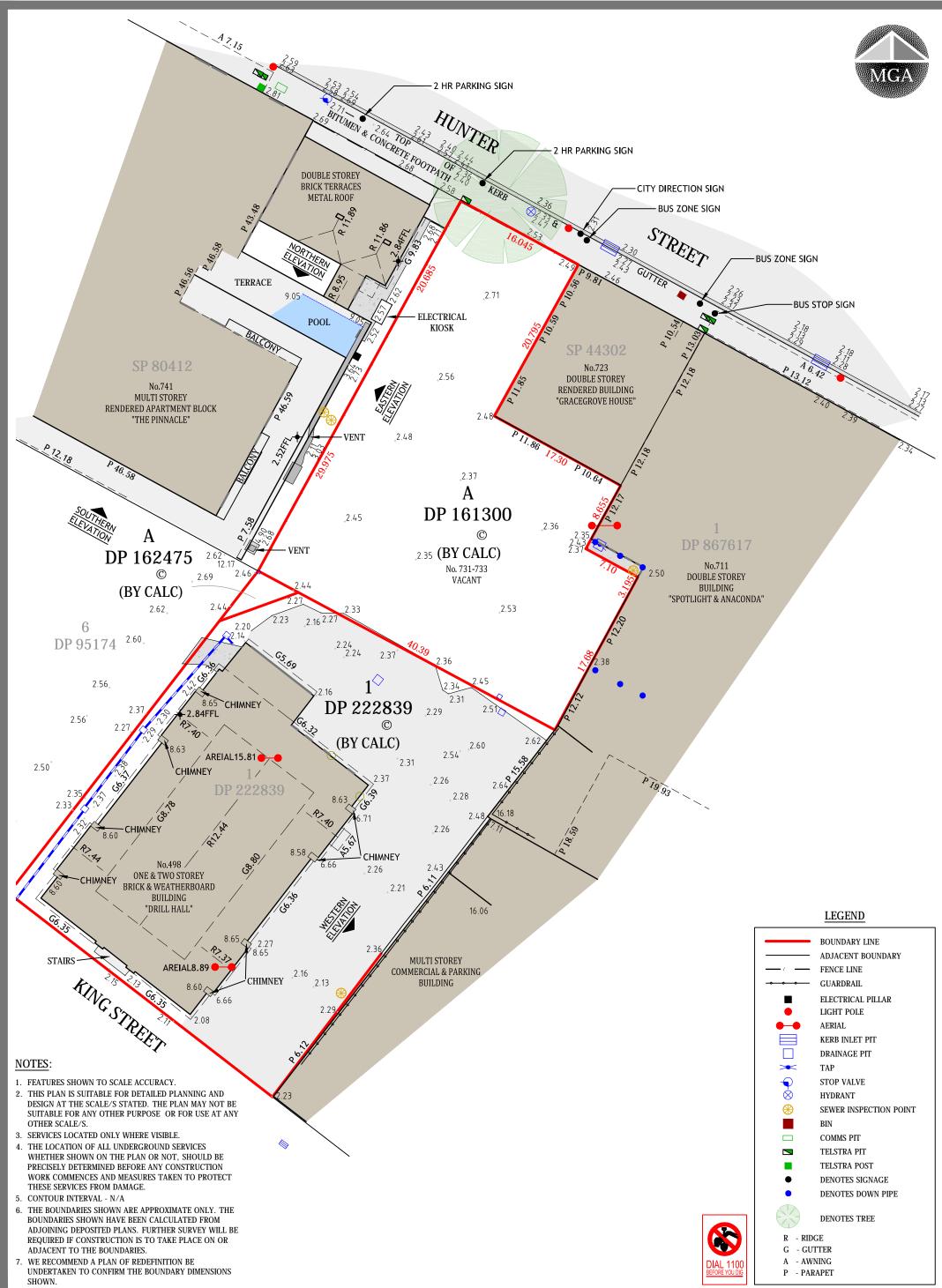
		15 ROOF
48m 'bui	ding' height	above NGL
		+49.220
		14 LEVEL
<u> </u>	!	+45.720
back	 - 	13 LEVEL
<b>I</b>		+42.220
		12 LEVEL
<u>.</u>		+38.720 11 LEVEL
npper		
		+35.220 10 LEVEL
9		+31.720
		9 LEVEL 8
		+28.220
		8 LEVEL 7
		+24.720
		7 LEVEL 6
		+21.220
16m street- wall height		6 LEVEL 5
16m  street- wall height		
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A29 - p/n.11394 - DA ISSUE rev A - MAY 2018



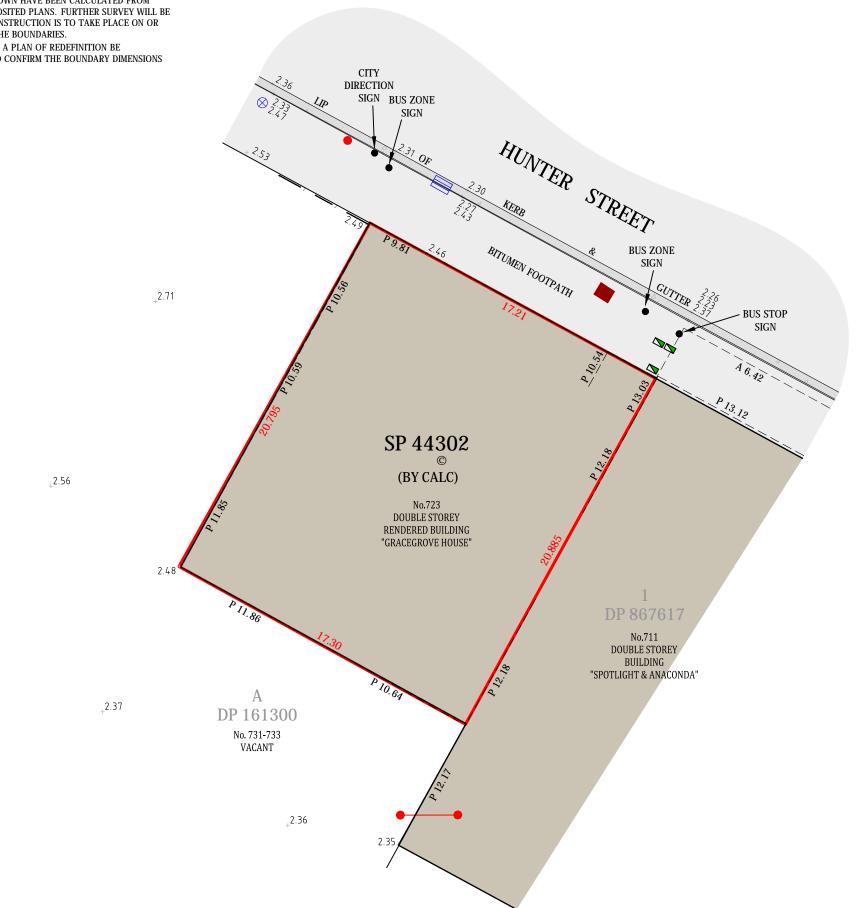


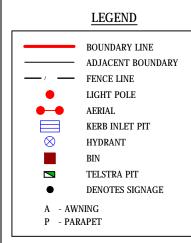
					Title:	DETAIL SURVEY OF LOT A DP161300	Cad Ref:	17382 DETAIL R2	Project No	
			UNIT 7A	<b>XXX</b> DELFS			Datum:	AHD	1738	20
9	Additional Detail Added	05 04 19	26 BALOOK DRIVE,		Address:	No.731-733 HUNTER STREET	Origin:	PM 9880 RL 2.129	1730	
~	Additional Detail Added		BERESFIELD NSW 2322	LASCELLES	11444 0001	NEWCASTLE WEST	Scale:	1:400 A3	Drawing No	Revision
1	Original Issue	11.01.18	Phone: 02 4964 4886					AS		
Mo	A	Date	www.delacs.com.au	CONSULTING SURVEYORS	Client:	CORE PROJECT GROUP	Drawn:		1	2
INO	Amendment	Date					Surveyor:	MT		

### NOTES:

- 1. FEATURES SHOWN TO SCALE ACCURACY.
- 2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
- 3. SERVICES LOCATED ONLY WHERE VISIBLE.
- A. THE LOCATION OF ALL UNDERGROUND SERVICES WHETHER SHOWN ON THE PLAN OR NOT, SHOULD BE PRECISELY DETERMINED BEFORE ANY CONSTRUCTION WORK COMMENCES AND MEASURES TAKEN TO PROTECT THESE SERVICES FROM DAMAGE.
- 5. CONTOUR INTERVAL N/A
- 6. THE BOUNDARIES SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES SHOWN HAVE BEEN CALCULATED FROM ADJOINING DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
- 7. WE RECOMMEND A PLAN OF REDEFINITION BE UNDERTAKEN TO CONFIRM THE BOUNDARY DIMENSIONS SHOWN.

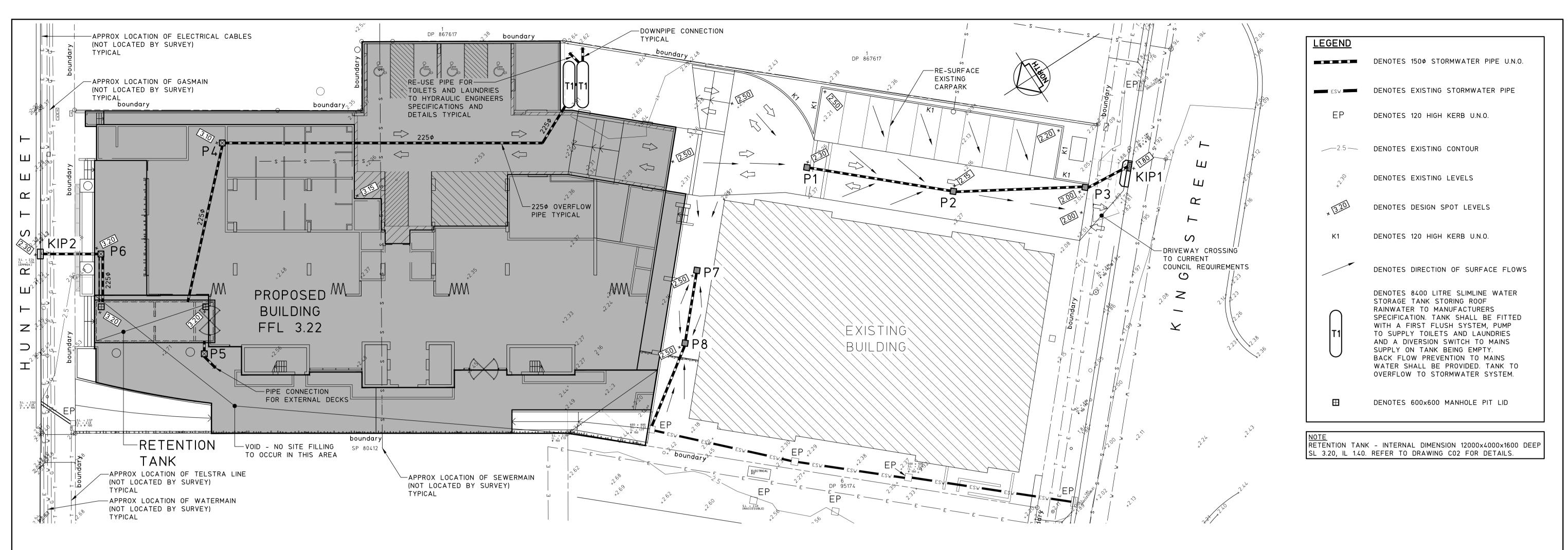






2.48

				LASCELLES		Title: Address:	DETAIL SURVEY OF SP44302	Cad Ref: Datum: Origin:	17382_DET SP44302 AHD PM 9880 RL 2.129	Project No 1738	82
H	1	Original Issue	13.04.18			Auuress.	NEWCASTLE WEST	Scale:	1:200 A3	Drawing No	Revision
Ν	lo	Amendment	Date	UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322	Ph: 02 4964 4886 www.delacs.com.au	Client:	CORE PROJECT GROUP	Drawn: Surveyor	AS :: MT	1	1



### STORMWATER PLAN SCALE 1:200

STORMWATER NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH AS3500.3.

2. ALL PIPES TO HAVE A 1% MINIMUM FALL U.N.O. 3. ALL DOWNPIPES (DP) TO BE SPECIFIED BY ARCHITECT. FOR EXACT LOCATION OF DOWNPIPES, REFER TO ARCHITECTURAL DRAWINGS. 4. ALL PIPES TO BE UPVC U.N.O

5. ALL UPVC PIPES TO BE SEWER GRADE AND TO AS1260.

6. ALL REINFORCED CONCRETE PIPES (RCP) TO BE SPIGOT AND SOCKET TYPE WITH RUBBER RINGS CLASS 2 TO AS4058.

7. PITS TO BE CI&D REINFORCED PRE-CAST CONCRETE PITS OR EQUIVALENT PROPRIETARY PITS. 8. ALL LIDS AND GRATES TO BE PROPRIETARY HEAVY DUTY IN AREAS OF VEHICULAR TRAFFIC, LIGHT DUTY ELSEWHERE, IN ACCORDANCE WITH AS3996. 9. MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOW U.N.O:

TRAFFICABLE AREAS - 450mm, LANDSCAPED AREAS - 300mm. PIPES TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE OBTAINED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 AS3500.3. ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROAD AND BUILDINGS.

10. PROVIDE 100¢ AG DRAINS IN FILTER SOCKS TO ALL LANDSCAPED AREAS, PLANTER BEDS AND STORMWATER PIPE TRENCHES. ALL AG DRAINS TO BE BEDDED IN COARSE AGGREGATE AND TO BE CONNECTED TO STORMWATER SYSTEM.

11. ALL PITS, RETENTION TANKS AND PROPRIETARY POLLUTION CONTROL DEVICES TO BE CLEANED OF SEDIMENT AT 3 MONTH MAXIMUM INTERVALS. 12. ALL EXISTING SERVICES TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.

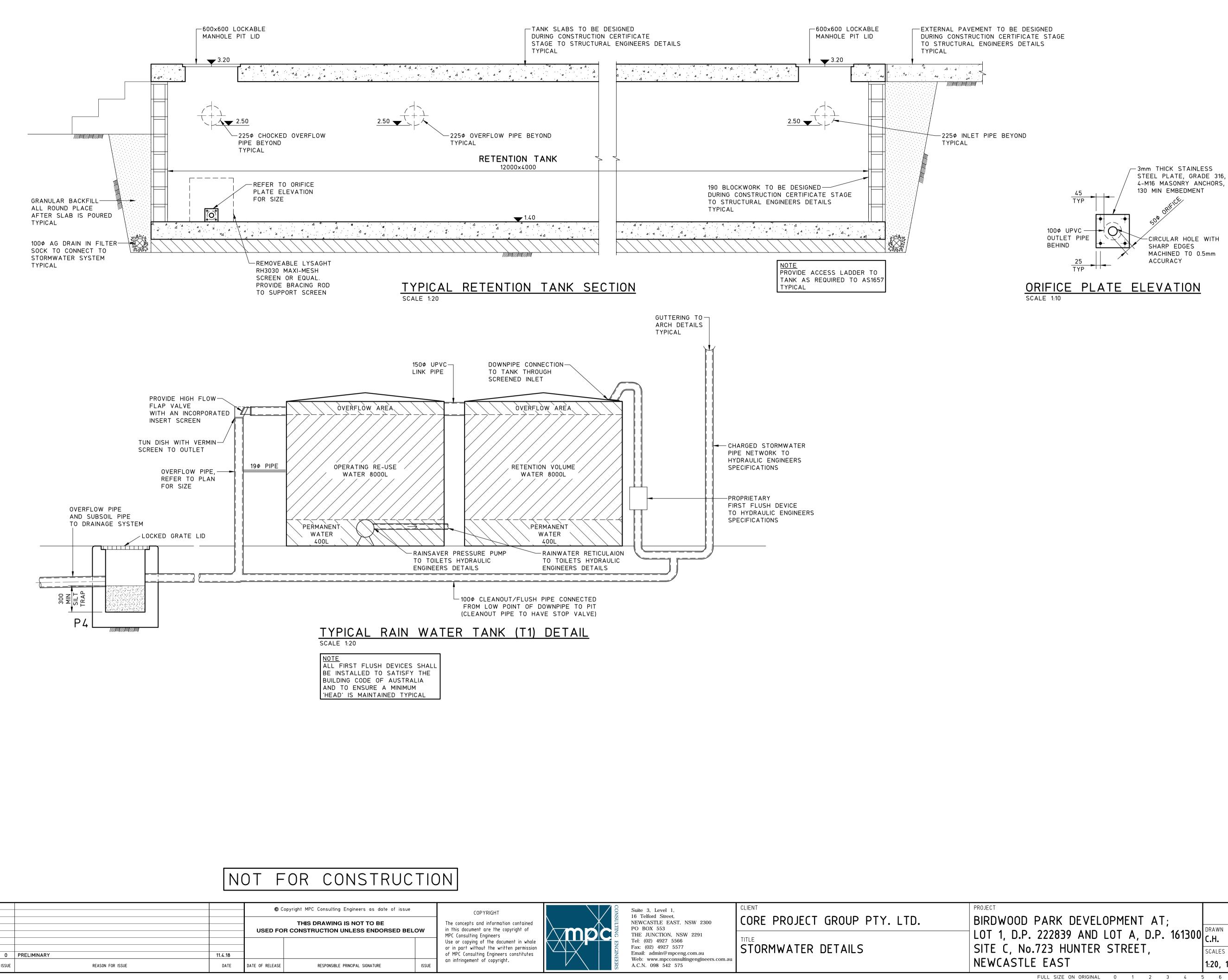
13. ANY FOOTPATHS, KERB AND GUTTER OR ROADWAY DISTURBED BY WORKS TO BE REINSTATED TO CURRENT COUNCIL REQUIREMENTS. 14. PROVIDE ACCESS LADDER TO TANK AS REQUIRED, REFER TO AS1657.

		PIT SCHE	EDULE		NOTE BUILDER TO PROVIDE ADEQUATE SHORING	NOTE DRIVEWAY GRADES TO CURRENT COUNCIL		
PIT No.	SIZE	TYPE	SURFACE LEVEL S.L.	INVERT LEVEL I.L.	IN ORDER TO MAINTAIN STABILITY OF EXISTING NEIGHBOURING STRUCTURES AND FENCES DURING EXCAVATION WORKS	REQUIREMENTS. BUILDER TO CONFIRM GRA PRIOR TO CONSTRUCTION OF DRIVEWAY		
P1	600×600	GRATED PIT	2.30	1.70	TYPICAL	NOTE		
P2	600×600	GRATED PIT	2.15	1.55		ALL DOWNPIPES TO CONNECT TO SLIMLINE		
P3	600×600	GRATED PIT	2.00	1.45	NOTE EXACT LOCATION AND DEPTH	ABOVE GROUND WATER STORAGE TANKS TYPICAL		
Ρ4	450×450	JUNCTION PIT	3.10	2.60	OF SEWERMAIN TO BE CONFIRMED PRIOR TO CONSTRUCTION.			
P5	450×450	JUNCTION PIT	3.10	2.60	MPC CONSULTING ENGINEERS	NOTE PIT P3 TO BE A SEDIMENT CONTROL PIT,		
P6	450×450	JUNCTION PIT	3.20	1.20	TO BE NOTIFIED OF THE FINDINGS TYPICAL	REFER TO DRAWING CO2 FOR DETAILS		
P7	600×600	GRATED PIT	2.50	2.00		NOTE		
P8	600×600	GRATED PIT	2.50	1.90	<u>NOTE</u> SETOUT AND ALIGNMENT OF	PROVIDE EXTRA SLEEPERS UNDER		
KIP1	2400 LINTEL	KERB INLET PIT	1.80	TBC ONSITE	WALLS TO BOUNDARY TO	BOUNDARY FENCE TO RETAIN SOIL AS REQUIRED (400 MAX RETAINING)		
KIP2	TBC ONSITE	EXISTING KERB INLET PIT	2.30	1.04	ARCHITECTS DETAILS TYPICAL	TYPICAL		
PROVIDE 30	BE A SILT TR/ 0 MIN EXTRA [ INVERT LEVEL	DEPTH TO PIT			NOTE ALL SETOUT, DIMENSIONS AND RL'S TO ARCHITECTS SPECIFICATION & DETAILS	NOTE ALL STRIP DRAINS AND AG LINES BEHIND KERBS (K1) TO CONNECT TO STORMWATER SYSTEM TYPICAL		

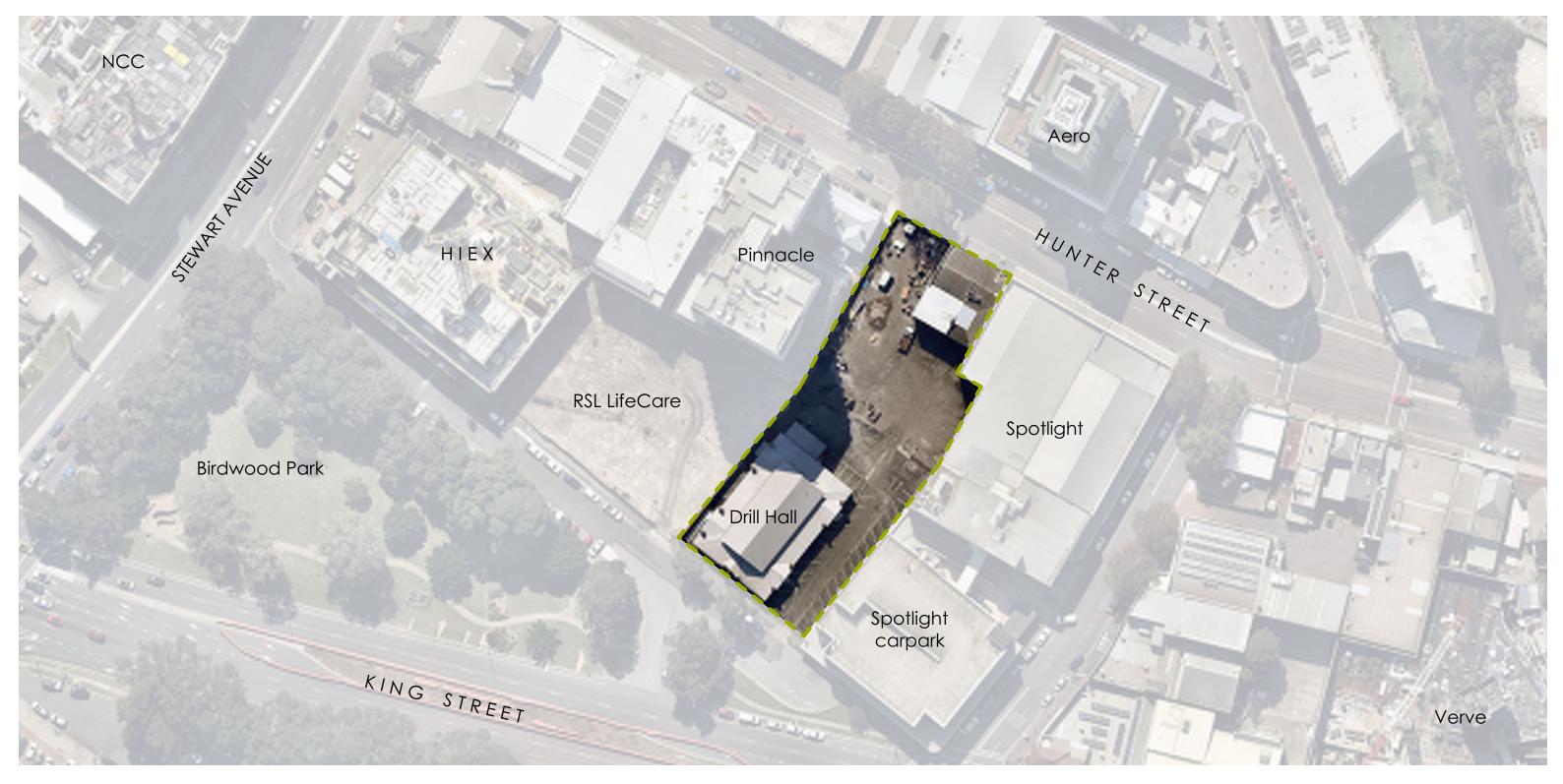
# NOT FOR CONSTRUCTION

			— Copyright MPC Consulting Engineers as date of issue			COPYRIGHT		
4	REVISED DEVELOPMENT APPLICATION DEVELOPMENT APPLICATION	11.5.18 7.5.18	USED FO	THIS DRAWING IS NOT TO BE R CONSTRUCTION UNLESS ENDORSED BEL	ow	The concepts and information con in this document are the copyrigh MPC Consulting Engineers		
2	REVIEW	20.4.18				Use or copying of the document in		
1	REVIEW	17.4.18				or in part without the written pe		
0	PRELIMINARY	11.4.18				of MPC Consulting Engineers const		
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE	an infringement of copyright.		

in whole in	BIRDWOOD PARK DEVELOPMENT AT; LOT 1, D.P. 222839 AND LOT A, D.P. 16130	0 DRAWN C.H.	ENGINEER <b>D.P./P.M.</b>	No in SET	SHEET A1
in whole permission stitutes Tel: (02) 4927 5566 Fax: (02) 4927 5577 Email: admin@mpceng.com.au Web: www.mpcconsultingengineers.com.au A.C.N. 098 542 575	SITE C, No.723 HUNTER STREET, NEWCASTLE EAST	SCALES 1:200	JOB No 18-018	DRAWING No	ISSUE



DEVELOPMENT AT;	DO NOT SCALE DRAWING						
	DRAWN	ENGINEER	No in SET	SHEET			
9 AND LOT A, D.P. 161300	/с.н.	D.P./P.M.	-	A1			
UNTER STREET,	SCALES	JOB No	DRAWING No	ISSUE			
Г	1:20, 10	18-018	C02	0			
ON ORIGINAL 0 1 2 3 4	5 6 7 8	8 9 10 <sup>-</sup>	1 12 13 1	4 15 cm			



### **DRAWING REGISTER**

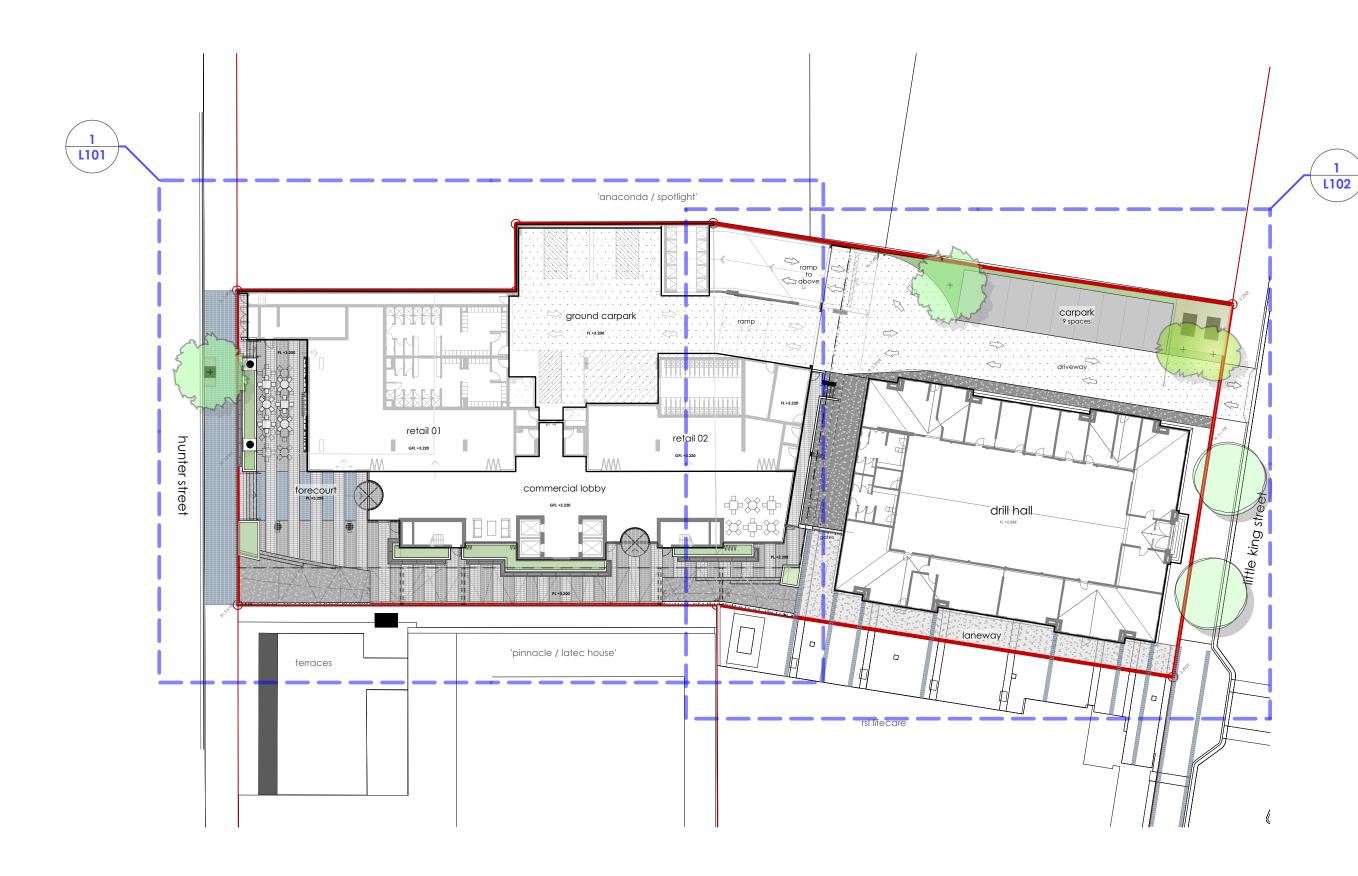
DRAWIN	IG N	UMBER	SHEET NAME	REV. No.	REV. DATE
11904.5	DA	L000	cover page	В	17/5/18
11904.5	DA	L001	site plan	В	17/5/18
11904.5	DA	L002	landscape design report	В	17/5/18
11904.5	DA	L101	landscape plan - hunter street	В	17/5/18
11904.5	DA	L102	landscape plan - king street	В	17/5/18
11904.5	DA	L103	landscape plan - level five	В	17/5/18
11904.5	DA	L104	landscape plan - level thirteen	В	17/5/18
11904.5	DA	L201	material/furniture palette	В	17/5/18
11904.5	DA	L301	planting palette - ground floor	В	17/5/18
11904.5	DA	L302	planting palette - podium/roof	В	17/5/18

# landscape development application

CORE PROJECT GROUP **BIRDWOOD BUSINESS CENTRE** 723 HUNTER STREET NEWCASTLE



# site plan L001 BIRDWOOD BUSINESS CENTRE





412 KING STREET NEWCASTLE NSW AUSTRALIA 2300 TERRAS.COM.AU PH: 49 294 926 FAX: 49 263 069



SCALE: @A3 DRAWN: DATE: OS/PW 23-04-2018 JOB NUMBER: PHASE: DWG NO: REV: 11904.5 DA LOO1 B

11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15

### CLIENT: CORE PROJECT GROUP

SITE: 723 HUNTER STREET NEWCASTLE

### PROJECT: **BIRDWOOD BUSINESS CENTRE**

B 17/5/18 DA ISSUE A 9/5/18 CLIENT REVIEW

# landscape design report | L002 BIRDWOOD BUSINESS CENTRE









HALL BUILDING & SOUTHERN SITE BOUNDARY FRONTING LITTLE KING STREET

### site general description

The following Landscape Design Report has been prepared in accordance with the requirements of Newcastle Local Environment Plan 2012 and Newcastle Development Control Plan 2012.

The site falls within the 'West End Precinct' of Newcastle City Council's City Centre Public Domain Technical Manual 2014.

The subject site is known as 723-733 Hunter Street. It is part of the former 'Newcastle City Holden' site which, due to the large size, was divided into 4 development sites. A childcare centre, 'Holiday Inn Express' and 'RSL LifeCare' are currently under construction. The site subject to this application also includes the existing 'Drill Hall' building which has undergone adaptive reuse. No changes are proposed to the 'Drill Hall' building as part of this DA, however the surrounds will be upgraded as part of this development.

The overall size of the 'Newcastle City Holden site' was 9739m<sup>2</sup>. The subject site of this DA, known as 'Site C' is a total of 3909m<sup>2</sup>, this includes the Drill Hall building and surrounds. The subject site has a 33.2m Hunter Street frontage to the north and 39.9m frontage to Little King Street, to the south

The topography falls gently diagonally to the southern corner, with a total change in level of around 600mm.

The site broadly, has a long history as a car sales yard and currently has one remaining two storey commercial building, to be demolished as part of this development, and the 'Drill Hall' building, which is to be retained.

### landscape character and visual amenity

Land use in the immediate area is a mix of commercial retail and residential apartment buildings. A number of large scale residential and commercial developments are currently underway or recently completed. This will continue the evolution of this western precinct in comina vears.

The subject site's street frontage to Little King Street is dominated by Birdwood Park to the south, in particular, the mature Ficus species along the road edge. The existing pavement along the subject site's boundaries is a patchwork of bitumen in average condition with clay paver borders on Hunter Street. The pedestrian traffic in the area is currently dominated by construction workers due to the building activity in the area.

The landscape character and visual amenity, generally in the Birdwood Park precinct, is heavily influenced by both the major arterial roadways of King Street to the south, Stewart Avenue to the west and Hunter Street to the North. Currently, the public open space of Birdwood Park has a sense of isolation with access to the area restricted to a few entry points due to the roadways. The exposed, highly visible nature of Birdwood Park, along with limited amenities, makes it poorly utilised as the principle green space in this west end development area. It is currently primarily used as a thoroughfare.

There is a theme of adaptive reuse in the broader Birdwood precinct, driven by properties on the south side of King Street and the 'Drill Hall' building. The historically dominating scale and poor aesthetic value of the former 'Latec House' and the Spotlight Carpark is effectively being offset by the number new, large developments in the surrounding area.

### visual access

The traffic volumes on the adjoining roads results in the site being visible to a very high number of road users, however, only within a limited catchment as the new and existing developments adjacent, and vegetation within Birdwood park largely obscures the site from King Street and Stewart Avenue. The alignment of Hunter Street results in vehicular and pedestrian traffic heading west along Hunter Street, being afforded the greatest visual access of the proposed development. The King & National Park Street intersection and Little Birdwood Park/Marketown pedestrian traffic are public areas on a local scale which will also receive largely unobstructed views of the development.

The private residences within the Pinnacle/Latec building with views to the east, will look directly on to the development. Residents of the RSL LifeCare building, and the Aero apartments, to the North are also in close proximity to the proposed building. The outlook will be considerably altered for residences which are orientated towards the subject site from these buildings in the immediate surrounds.

### proposed developmen

The proposed development consists of a 14 storey commercial office building with ground floor retail and a through site link pedestrian laneway. Following the ground floor retail and parking, are 3 levels of above ground parking, then a commercial office tower of 7 storeys.

Ground floor activation of the through site laneway along the western boundary, results from the retail tenancies and the commercial lobby addressing the space, and artwork and catenary lighting bringing place-making amenity to the development. This vertical batten theme, inspired by the artwork of a member of the Awabakal People, 'bantimita' meaning message stick, is carried throughout the landscape and facade treatments.

Activation is also gained by establishing the laneway to provide pedestrian permeability the Birdwood Park/Marketown area by improving connectivity throughout this rapidly developing precinct.

The ground level floor plan primarily occupies the eastern side of the development allowing a generous forecourt and commercial lobby to extend the feel and useable space in the laneway

Catenary lighting and site salvaged feature timber screening along the lane, for the length of the proposed building reflect the carpark façade over and provide a bespoke high quality public thoroughfare focused on pedestrian sofety and neighbour privacy. The incorporation of a plant trellis with this screen and lighting will provide a green and protected outlook, improving the amenity within the commercial lobby and retail tenancies, while screening the undesirable above ground car parking adjacent.

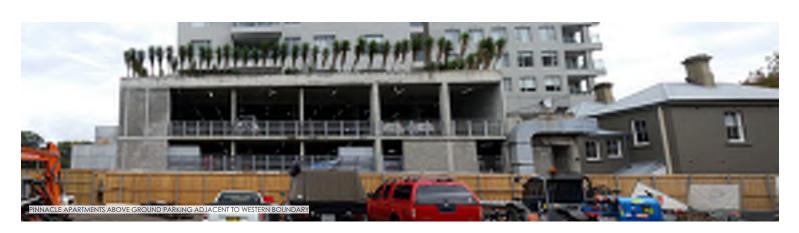
Further extensive landscaped spaces occur on the Level 5 podium break out terraces, and on the roofton activation space These areas are designed to offer a range of multipurpose spaces for different sized groups

with the potential for the space to be used by occupants for both work breaks and formal business events.

Balustrades are to be clear glazing and set back from the facade to improve the buildings presentation to the street, improve privacy of overlooking into adjoining buildings, while not impacting desirable views out from the space by users.

The placement of raised planters around these upper level landscape areas also assists in improving privacy, focusing outward views and improving outlook from within the commercial tenancies. Strategically placed panels of vertical timber screening throughout these upper levels, further continues the continuity of the façade and laneway screening detail while offering private protected spaces and also managing wind tunnel effects

The Hunter Street Public Domain is proposed as full width bluestone, in line with the Technical Manual specification. The payement treatment transitions into bluestone banding with grit blasted concrete infill in the area of the 'Drill Hall' building, to match the specification for Little King Street public domain and the RSL LifeCare portion of the laneway.





17/5/18 DA ISSUE

**723 HUNTER STREET** 

CORE PROJECT GROUP

11394.5 Birdwood Site C 2018-05-10.vwx

JOB NUMBER: PHASE: DWG No: REV 11904.5 DA L002 B

landscape archited

412 KING STREET NEWCASTLE NSW ALISTRALIA 2300 TERRAS.COM.AU PH: 49 294 926 FAX: 49 263 069

DRAWN: DATE: OS/PW 23-04-2018

20/5/15

NEWCASTLE

PROJECT:

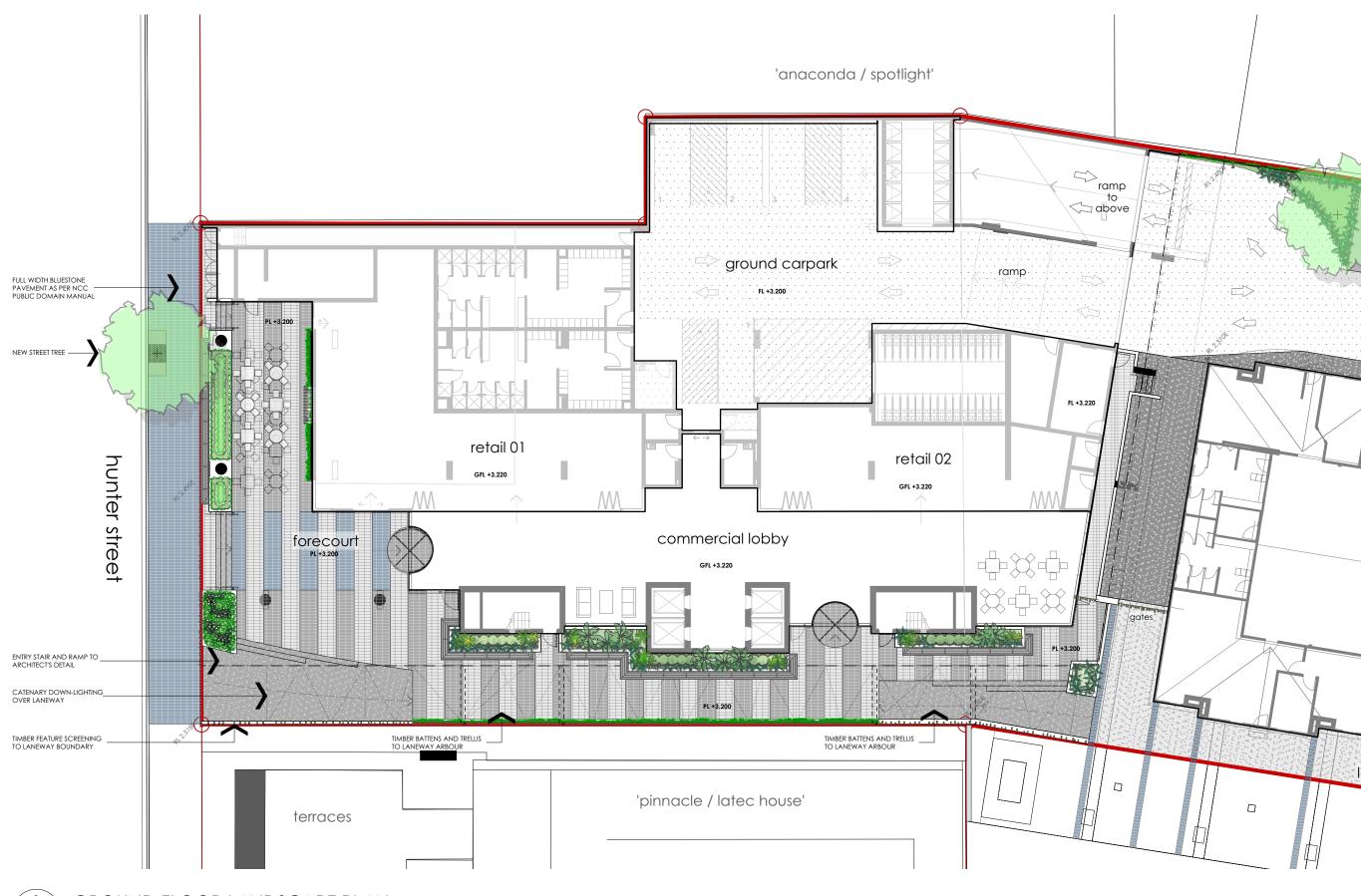
SITE

CLIENT:

10/5/18 CLIENT REVIEW

BIRDWOOD BUSINESS CENTRE

# landscape plan - hunter street | L101



**GROUND FLOOR LANDSCAPE PLAN** 1

Scale: 1:250 L101







11394.5 Birdwood Site C 2018-05-10.vwx

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### CORE PROJECT GROUP

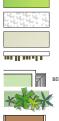
CLIENT:

NEWCASTLE

SITE: 723 HUNTER STREET

### PROJECT: **BIRDWOOD BUSINESS CENTRE**

17/5/18 DA ISSUE 9/5/18 CLIENT REVIEW В



ON RAISED PLAT MASS PLANTING REFER PLANTING PALETTE

FEATURE TIMBER SCREENING

BLUESTONE PAVER TO NCC PUBLIC DOMAIN SPECIFICATION SELECTED FORECOURT/LANEWA

XIDE COLOURED CONCRETE. GRIT BLAST FINISH OXIDE COLOURED CONCRETE BROOM FINISH GREY CONCRETE. GRIT BLAST FINISH CONCRETE DRIVEWA

PODIUM LEVEL DECKING SURFACE PODIUM LEVEL PAVING

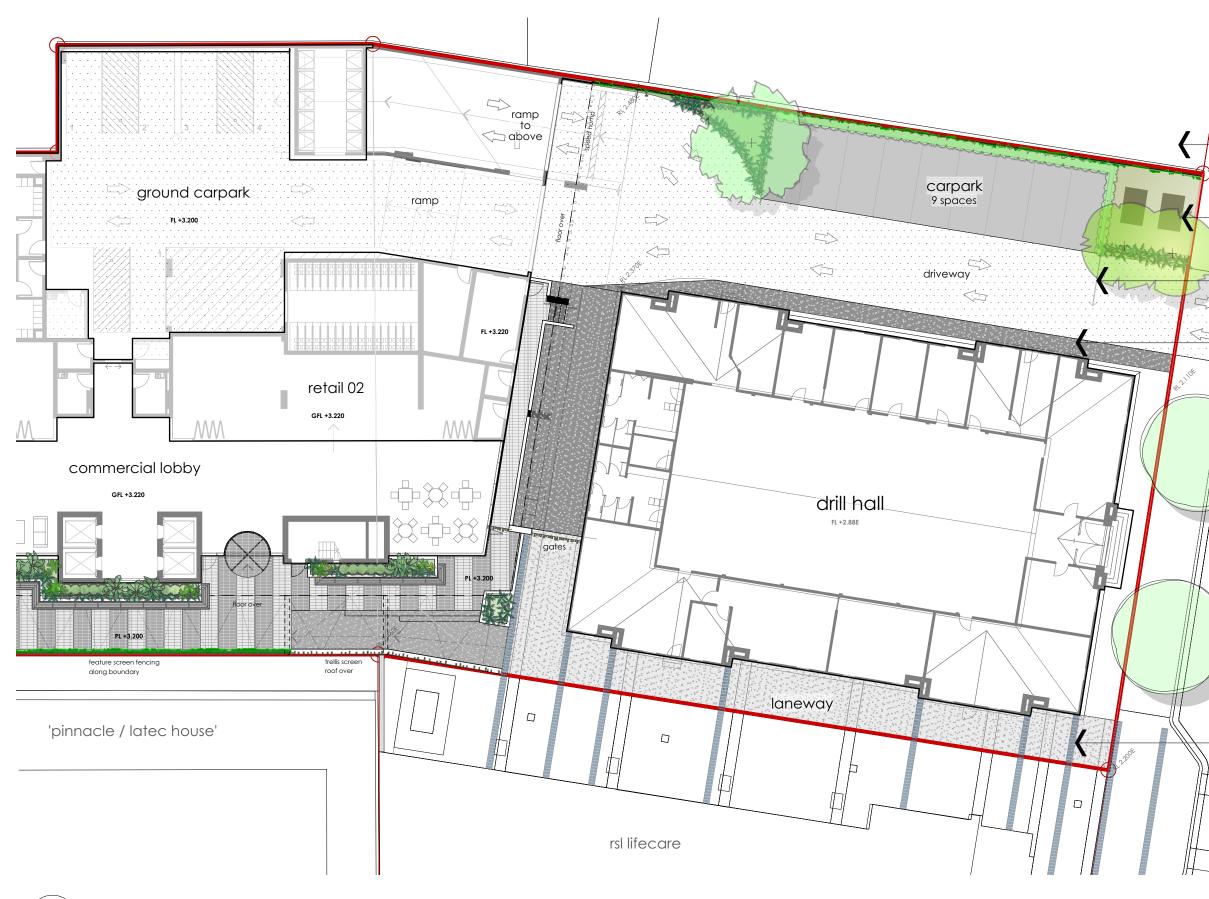
> ARTIFICIAL LAWN AREA LARGE SCALE GRAVEL MULCH GRAVEL MULCH

BENCH SEATING



# **BIRDWOOD BUSINESS CENTRE**

# landscape plan - king street | L102



**GROUND FLOOR LANDSCAPE PLAN - DRILL HALL** 

Scale: 1:250 L102/

1

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11394.5 Birdwood Site C 2018-05-10.vwx

20/5/15

### CORE PROJECT GROUP

CLIENT:

### 723 HUNTER STREET NEWCASTLE

SITE:

### PROJECT: **BIRDWOOD BUSINESS CENTRE**

17/5/18 DA ISSUE 9/5/18 CLIENT REVIEW

EXISTING COMMERCIAL BUILDING ELECTRICAL KIOSK EXISTING VEHICLE GATE RELOCATED EXISTING DRIVEWAY OXIDED COLOURED PATHWAY TO DELINEATE DRIVEWAY EXTENT EXISTING FOOTPATH, KERB & GUTTERING. MAKE GOOD AS REQUIRED EXISTING STREET TREES tittle king street

LANEWAY PAVEMENT PROPOSED AS BLUESTONE BANDING WITH CONCRETE INFILL TO MATCH ADJOINING RSL LIFE CARE SITE



LEGEND

BLUESTONE PAVER TO NCC PUBLIC DOMAIN SPECIFICATION SELECTED FORECOURT/LANEWA

KIDE COLOURED CONCRETE. GRIT BLAST FINISH

OXIDE COLOURED CONCRETI BROOM FINISH

CONCRETE DRIVEWA PODIUM LEVEL DECKING SURFACE

PODIUM LEVEL PAVING

ARTIFICIAL LAWN AREA

GRAVEL MULCH

LARGE SCALE GRAVEL MULCH

FEATURE TIMBER SCREENING

ON RAISED PLANT

MASS PLANTING REFER PLANTING PALETTE

BENCH SEATING

GREY CONCRETE, GRIT BLAST FINIS



# landscape plan - level five | L103 BIRDWOOD BUSINESS CENTRE



LEVEL 5 LANDSCAPE PLAN 1

Scale: 1:250 L103/



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11394.5 Birdwood Site C 2018-05-10.vwx 20/5/15

CORE PROJECT GROUP

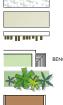
CLIENT:

### 723 HUNTER STREET NEWCASTLE

SITE:

### PROJECT: **BIRDWOOD BUSINESS CENTRE**

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LEGEND

FEATURE TIMBER SCREENING ING ON RAISED PLANTE MASS PLANTING REFER PLANTING PALETTE BENCH SEATING

LARGE SCALE GRAVEL MULCH

GRAVEL MULCH

BLUESTONE PAVER TO NCC PUBLIC DOMAIN SPECIFICATION SELECTED FORECOURT/LANEWA SELECTED FORECOURT/LANEWA FEATURE PAVING

XIDE COLOURED CONCRETE. GRIT BLAST FINISH

OXIDE COLOURED CONCRETI BROOM FINISH GREY CONCRETE. GRIT BLAST FINISH

CONCRETE DRIVEWA PODIUM LEVEL DECKING SURFACE PODIUM LEVEL PAVING

ARTIFICIAL LAWN AREA

# landscape plan - level thirteen | L104 **BIRDWOOD BUSINESS CENTRE**



Scale: 1:250 L104

1

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SCALE: @A3

11394.5 Birdwood Site C 2018-05-10.vwx

20/5/15

### CORE PROJECT GROUP

CLIENT:

### 723 HUNTER STREET NEWCASTLE

SITE:

### PROJECT: **BIRDWOOD BUSINESS CENTRE**

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LEGEND

NG ON RAISED PLANTE MASS PLANTING REFER PLANTING PALETTE BENCH SEATING

FEATURE TIMBER SCREENING

GRAVEL MULCH

LARGE SCALE GRAVEL MULCH

ARTIFICIAL LAWN AREA

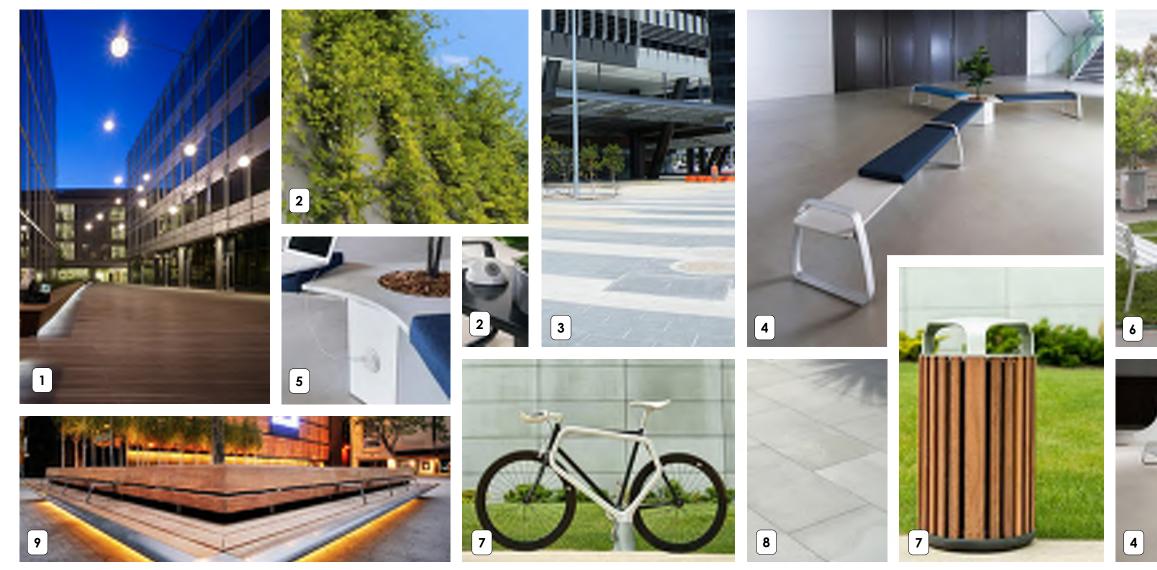
PODIUM LEVEL PAVINO

PODIUM LEVEL DECKING SURFACE

CONCRETE DRIVEWA

BLUESTONE PAVER TO NCC PUBLIC DOMAIN SPECIFICATION SELECTED FORECOURT/LANEWA SELECTED FORECOURT/LANEWA FEATURE PAVING XIDE COLOURED CONCRETE. GRIT BLAST FINISH OXIDE COLOURED CONCRETI BROOM FINISH GREY CONCRETE. GRIT BLAST FINISH

# material/furniture palette | L201



### items

- catenary lighting to laneway
- climbers on trellis example 2.
- indicative pavement banding 3.
- indoor/outdoor commercial furniture range 4.
- 5. integrated smart technology

- flexible furniture in breakout spaces
- indicative street furniture range example 7.

6.

- bluestone external paving 8.
- integrated planterbox bench seating example 9.

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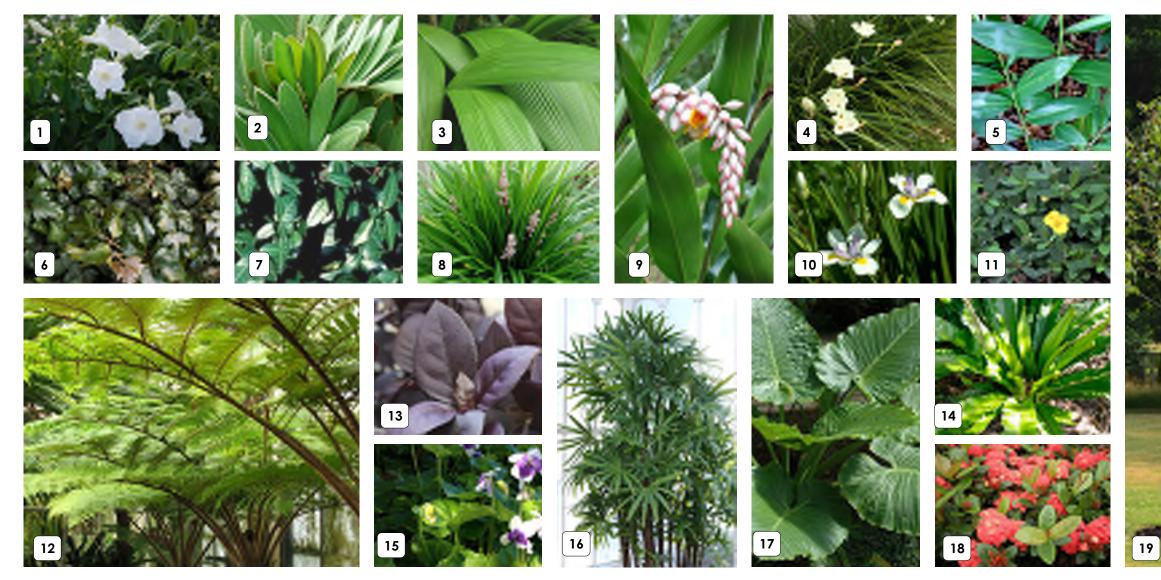
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PROJECT: **BIRDWOOD BUSINESS CENTRE** 

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# planting palette - ground floor | L301



### plant list

- Pandorea 'Lady Di'
- , Zamia furfuracea 2.
- Molineria capitulata 3.
- Dietes bicolor 4. Alpinia caerulea 5.
- Cissus antarctica 6.
- Trachelospermum asiaticum 7.
- Liriope muscari 'Isabella' 8.
- Alpinia zerumbet
- Alpinia zerumb
  Dietes vageta

Pandorea Cardboard Palm Palm grass Fortnight lily Native Ginger Kangaroo Vine Japanese Star Jasmine Isabella Shell Ginger Africian Iris

- 11. Hibbertia scandens Dicksonia antarctica
- 12. 13. Alternanthera dentata 'Little Ruby'
- Asplenium australasicum 14.
- 15. Viola hederacea
- 16. Rhapis excels
- Alocasia brisbanensis 17.
- Ixora Chinensis 'Dwarf Syn Maui' 18.
- 19. Betula nigra 'Dura Heat'

Snake Vine Soft Tree fern Alternanthera 'Little Ruby' Birds Nest Fern Native Violet Lady Palm Cunjevoi lxora Tropical Birch

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### PROJECT: **BIRDWOOD BUSINESS CENTRE**

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# planting palette - podium/roof | L302



### plant list

- Phormium tenax
- Zamia furfuracea 2.
- Molineria capitulata 3.
- Dietes vageta 4.
- Hymenocallis littoralis 5.
- Phormium tenax 'Purpurea' 6. 7.
- Liriope muscari 'Isabella' . Casuarina glauca 'Cousin It' 8.
- Dietes bicolor
  Hibbertia scandens

Flax Cardboard Palm Palm grass Africian Iris Spider Lilly Flax Isabella Cousin It Fortnight lily

Snake Vine

11. Sansevieria trifasciata Alternanthera dentata 'Little Ruby' 12.

- 13. Senecio serpens
- Strelitzia juncea 14.
- 15. Cycas revoluta
- 16. Viola hederacea
- Rhapis excels 17.
- Sansevieria uganda 18.
- Ixora Chinensis 19. 20. Aloe barberae

mother-in-law's tongue Alternanthera 'Little Ruby' Blue Chalksticks Strelitzia juncea Sago Palm Native Violet Lady Palm Sansevieria Prince of Orange Tree aloe

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